

RECORDED

APR 19 3 33 PM '90

ELEVENTH AMENDMENT TO SOUTH COVE MASTER DEED
EXHIBIT "B", CONDOMINIUM SUBDIVISION PLAN

Bernie J. ...
REGISTER OF DEEDS
BERRIEN COUNTY MICHIGAN

Condominium Subdivision Plans, being Exhibit "B", are hereby amended as follows:

"Add Twenty-one (21) units, numbered 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183 and 184."

The new units described above are as shown on the attached Amended Condominium Subdivision Plan which is made a part hereof. This Amendment does alter the percentage of value assigned to any unit in Southcove and does change the allocable expenses and/or percentage interest of any value assigned to each unit as computed in accordance with Article V of the Master Deed.

The number of units as referred to in Article V (c) shall be 169 units and each of said units shall be considered to have a percentage of value as indicated on attached Exhibit 1.

This Amendment is submitted in accordance with the authority given New Buffalo Harbor, Inc., a Michigan Corporation, as developer, by Public Act 59 of 1978 as amended; as directed by a vote of the Board of Directors to amend the Master Deed to accomplish the inclusion of said units in The Southcove Association and by the consent of the developer to said Amendment which is also attached hereto and made a part hereof, in accordance with Article IX of the Master Deed previously filed and approved.

This Amendment is effective immediately upon its filing with

the Register of Deeds Office, Berrien County, Michigan.

DATED: April 18, 1990

In the Presence Of:

NEW BUFFALO HARBOR, INC.

Ellen C. Van Brocklin
Ellen C. Van Brocklin

BY James L. Stevens
James L. Stevens
President

Frank J. De Francesco
Frank J. De Francesco

BY Roccy M. De Francesco
Roccy M. De Francesco
Secretary

STATE OF MICHIGAN)
) ss.
COUNTY OF BERRIEN)

On this 18 day of April, 1990, the foregoing instrument was acknowledged before me by James L. Stevens, President of New Buffalo Harbor, Inc., and Roccy M. De Francesco, Secretary of New Buffalo Harbor, Inc., a Michigan Corporation, on behalf of the corporation.

Ellen C. Van Brocklin
Ellen C. Van Brocklin
Notary Public, Berrien County,
Michigan
My Commission Expires:
October 3, 1993

PREPARED BY:
ROCCY M. DE FRANCESCO
DE FRANCESCO & DE FRANCESCO
903 MAIN STREET
ST. JOSEPH, MICHIGAN 49085

I HEREBY CERTIFY that there are no tax liens of this kind by the State or any individual against the within description, and all taxes on same are paid for five years previous to the date of this instrument, as appears by the records in my office. This certificate does not apply on taxes, if any, now in process of collection. Also except, Deferred Special Assessments, if any, under Act No. 225, Public Acts of 1975, as amended.
Berrien County Treasurer

Date APR 19 1990
No. 7837
Carol Strommen

CONSENT BY DEVELOPER TO ELEVENTH
AMENDMENT TO SUBDIVISION PLAN
OF EXHIBIT B AND OTHER PROVISIONS

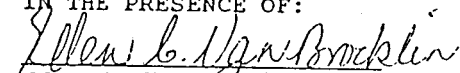
The undersigned, being the Developer of Southcove, a
condominium in Berrien County, Michigan, hereby consents to the
modification to the drawings, pages number X-1433-1; X-1433-2; X-1433-3;
X-1433-4; X-1433-5; X-1433-11; X-1433-12; X-1433-21; X-1433-22; X-1433-23; X-1433-24;
X-1433-25; X-1433-26; X-1433-27; X-1433-28,


_____, of the Condominium Subdivision Plan,
(Exhibit B to the Master Deed) and to the other provisions
included in that document.

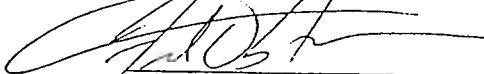
Dated: APRIL 18, 1990

NEW BUFFALO HARBOR, INC.

IN THE PRESENCE OF:


Ellen C. Van Brocklin

BY 
James L. Stevens
President


Frank J. De Francesco

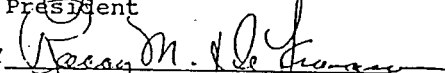
BY 
Rocky M. De Francesco
Secretary

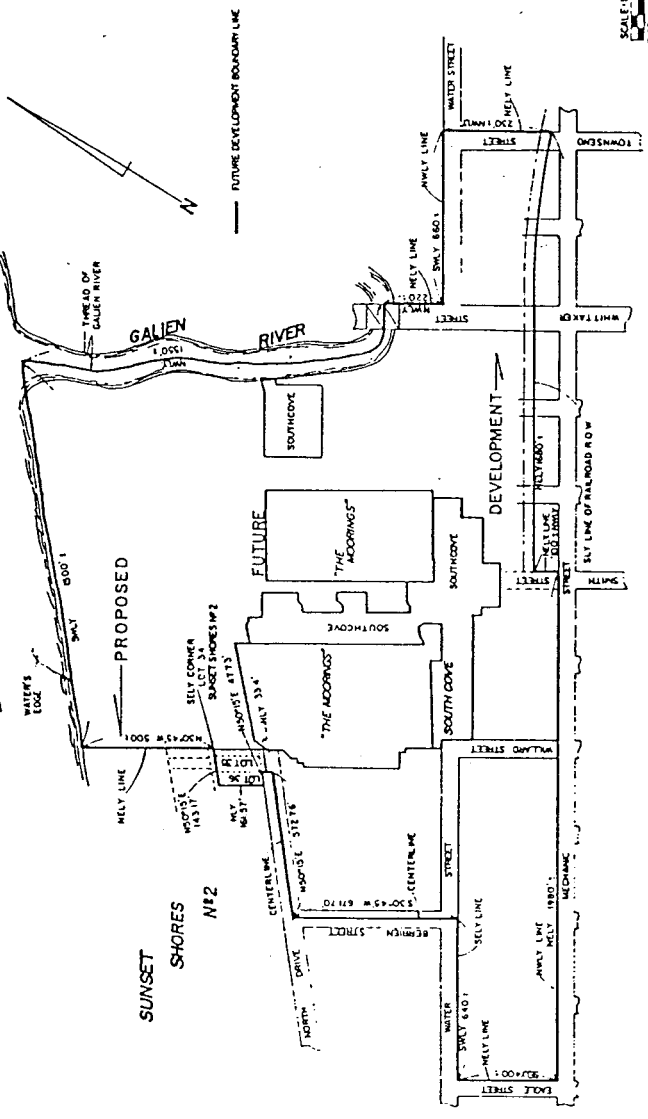
EXHIBIT 1 TO TENTH
AMENDMENT TO MASTER DEED

The following is a schedule of units and the percentage of value assigned to each unit:

1.	0.61	38.	0.27	110.	0.40
2.	0.61	39.	0.27	111.	0.40
3.	0.90	40.	0.27	112.	0.40
4.	0.51	41.	0.27	113.	0.40
5.	0.51	42.	0.30	114.	0.40
6.	0.75	47.	0.18	115.	0.40
7.	0.75	48.	0.18	116.	0.17
8.	0.61	49.	0.18	117.	0.17
9.	0.61	50.	0.18	118.	0.17
10.	0.90	55.	0.20	119.	0.17
11.	0.75	56.	0.20	120.	0.17
12.	0.75	57.	0.20	121.	0.17
13.	0.61	58.	0.20	122.	0.17
14.	0.61	61.	0.20	123.	0.17
15.	0.90	62.	0.20	124.	0.45
16.	0.75	63.	0.20	125.	0.45
17.	0.75	64.	0.20	126.	0.45
18.	0.61	65.	0.20	127.	0.45
19.	0.61	79.	0.31	128.	0.45
20.	0.90	80.	0.31	129.	0.45
21.	0.51	81.	0.31	130.	0.45
22.	0.51	82.	0.31	131.	0.48
23.	0.75	83.	0.27	132.	0.48
24.	0.75	84.	0.31	133.	0.48
25.	0.51	85.	0.31	134.	0.48
26.	0.51	86.	0.31	135.	0.33
27.	0.51	87.	0.31	136.	0.33
28.	0.51	88.	0.31	137.	0.33
32.	1.76	89.	0.31	138.	0.33
33.	1.76	90.	0.27	139.	0.60
34.	1.76	91.	0.23	140.	0.82
35.	1.76	92.	0.23	141.	1.16
36.	1.76	93.	0.27	142.	1.46
37.	1.76	94.	0.27	143.	0.82
45.	0.15	95.	0.20	144.	1.16
46.	0.15	96.	0.20	145.	0.60
53.	0.17	97.	0.20	146.	0.82
54.	0.17	102.	0.20	147.	0.82
68.	0.38	103.	0.20	148.	1.16
69.	0.31	104.	0.20	149.	0.62
70.	0.31	105.	0.20	150.	0.82
71.	0.31	106.	0.20	151.	0.82
72.	0.31	107.	0.40	152.	1.16
73.	0.27	108.	0.40	153.	0.62
74.	0.31	109.	0.40	154.	0.82
75.	0.31			155.	0.82
76.	0.31			156.	1.16
77.	0.31			157.	0.92
78.	0.31			158.	0.95

159.	1.39	168.	0.63	177.	0.85
160.	1.76	169.	0.85	178.	0.85
161.	1.76	170.	0.85	179.	1.21
162.	1.76	171.	1.21	180.	0.70
163.	1.76	172.	0.63	181.	0.94
164.	0.63	173.	0.85	182.	0.98
165.	0.85	174.	0.85	183.	1.32
166.	0.85	175.	1.25	184.	1.60
167.	1.27	176.	0.63		

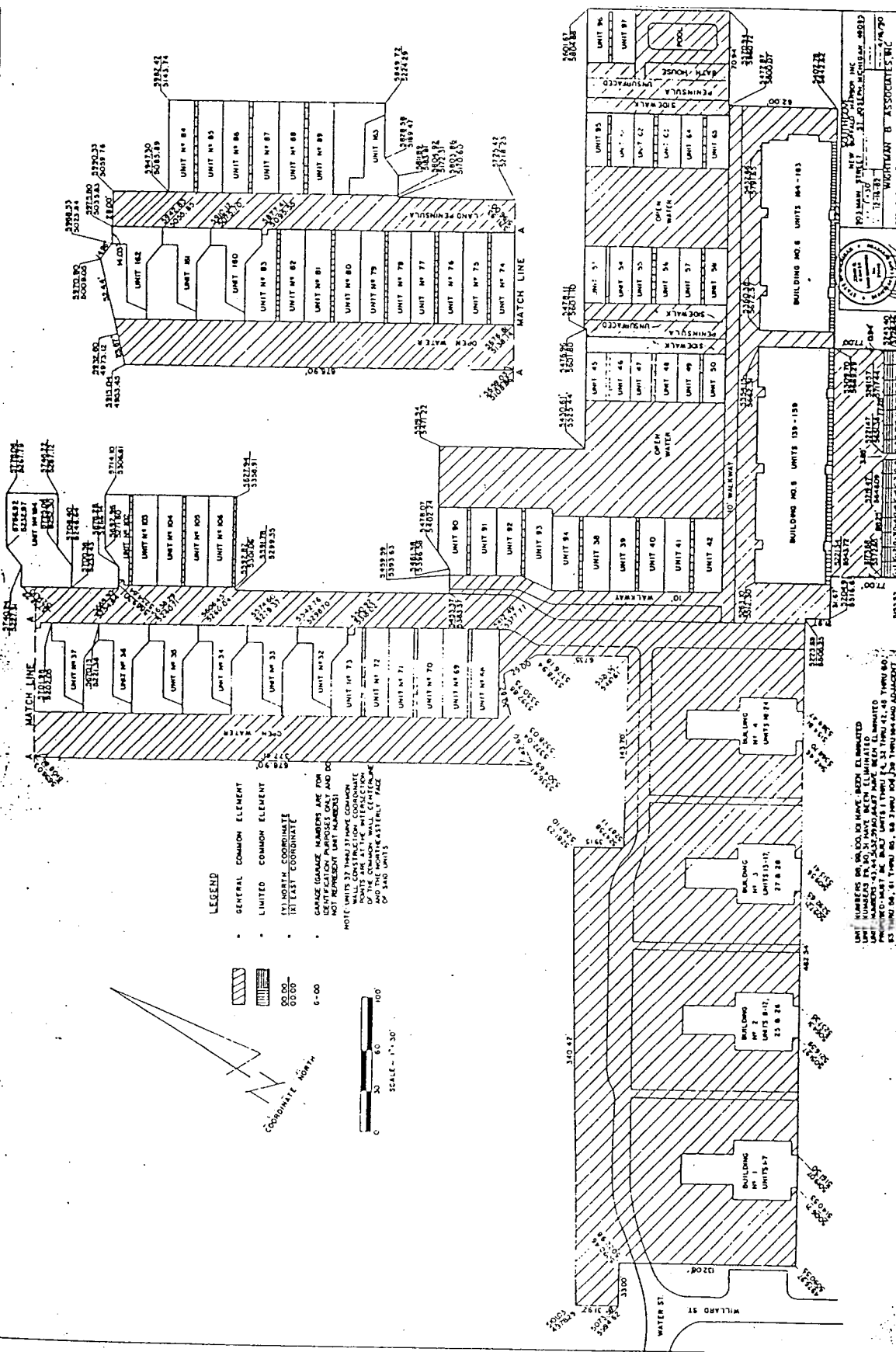
LAKE MICHIGAN



SCALE: 1"=200'
0 30 50 100'

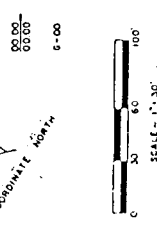
NOTE: PROPOSED FUTURE DEVELOPMENT AREAS
INCLUDE ONLY THE RIGHT OF WAY
AND ELEMENTS WITHIN THE DEVELOPMENT BOUNDARIES

PROPOSED SOUTHCOVE
SUBDIVISION
PREPARED BY
WIGHTMAN & ASSOCIATES, INC.
1000 W. WASHINGTON STREET, SUITE 100
ANN ARBOR, MICHIGAN 48106
PHONE (313) 761-1100



LEGEND

- GENERAL COMMON ELEMENT
- LIMITED COMMON ELEMENT
- (N) NORTH COORDINATE
- (E) EAST COORDINATE
- GARAGE (GARAGE NUMBERS ARE FOR LIMITED COMMON ELEMENTS AND DO NOT REPRESENT UNIT NUMBERS)
- NOTE: UNITS 32 THROUGH 37 HAVE COMMON WALL CONSTRUCTION. COORDINATE WALL CENTERLINE OF THE COMMON WALL CENTERLINE OF THE NORTH-EASTERLY FACE OF SAID UNIT.



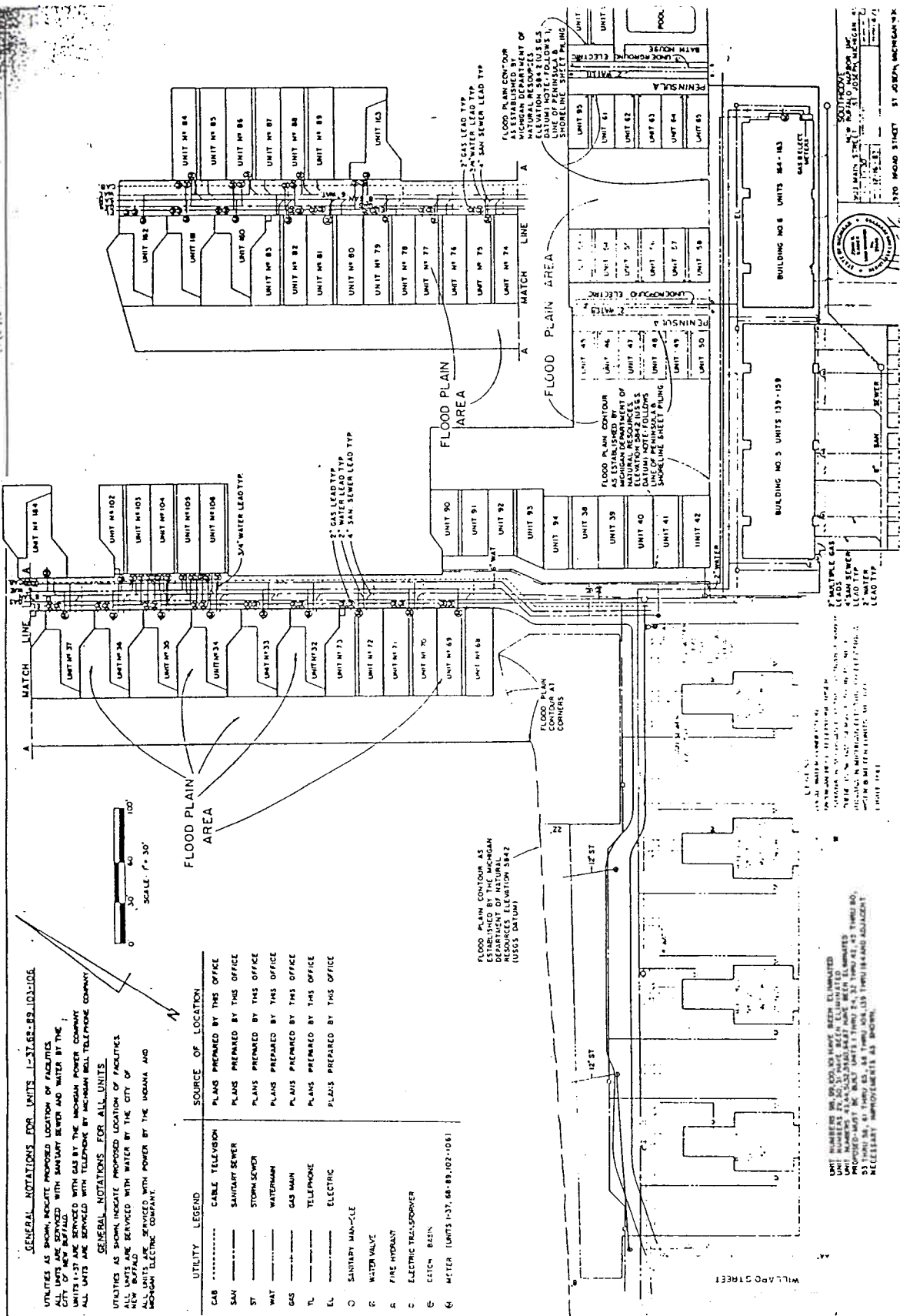
BUILDING NO. 8 UNITS 139-159
 BUILDING NO. 8 UNITS 164-183
 BUILDING NO. 2 UNITS 1-11
 BUILDING NO. 2 UNITS 12-26
 BUILDING NO. 2 UNITS 27-31
 BUILDING NO. 2 UNITS 32-37
 BUILDING NO. 2 UNITS 38-42
 BUILDING NO. 2 UNITS 43-47
 BUILDING NO. 2 UNITS 48-50
 BUILDING NO. 2 UNITS 51-55
 BUILDING NO. 2 UNITS 56-60
 BUILDING NO. 2 UNITS 61-65
 BUILDING NO. 2 UNITS 66-70
 BUILDING NO. 2 UNITS 71-75
 BUILDING NO. 2 UNITS 76-80
 BUILDING NO. 2 UNITS 81-85
 BUILDING NO. 2 UNITS 86-90
 BUILDING NO. 2 UNITS 91-95
 BUILDING NO. 2 UNITS 96-100

UNIT NUMBERS 139-159, 164-183, 1-11, 12-26, 27-31, 32-37, 38-42, 43-47, 48-50, 51-55, 56-60, 61-65, 66-70, 71-75, 76-80, 81-85, 86-90, 91-95, 96-100
 UNIT NUMBERS 139-159, 164-183, 1-11, 12-26, 27-31, 32-37, 38-42, 43-47, 48-50, 51-55, 56-60, 61-65, 66-70, 71-75, 76-80, 81-85, 86-90, 91-95, 96-100
 UNIT NUMBERS 139-159, 164-183, 1-11, 12-26, 27-31, 32-37, 38-42, 43-47, 48-50, 51-55, 56-60, 61-65, 66-70, 71-75, 76-80, 81-85, 86-90, 91-95, 96-100

GENERAL NOTATIONS FOR UNITS 1-37, 68-89, 102-106

UTILITIES AS SHOWN INDICATE PROPOSED LOCATION OF FACILITIES
 ALL UNITS ARE SERVICED WITH SANITARY SEWER AND WATER BY THE
 CITY OF INDIANAPOLIS
 UNITS 1-37 ARE SERVICED WITH GAS BY THE MICHIGAN POWER COMPANY
 ALL UNITS ARE SERVICED WITH TELEPHONE BY MICHIGAN BELL TELEPHONE COMPANY
GENERAL NOTATIONS FOR ALL UNITS
 UNITS AS SHOWN INDICATE PROPOSED LOCATION OF FACILITIES
 ALL UNITS ARE SERVICED WITH WATER BY THE CITY OF
 INDIANAPOLIS
 ALL UNITS ARE SERVICED WITH POWER BY THE INDIANA AND
 MICHIGAN ELECTRIC COMPANY.

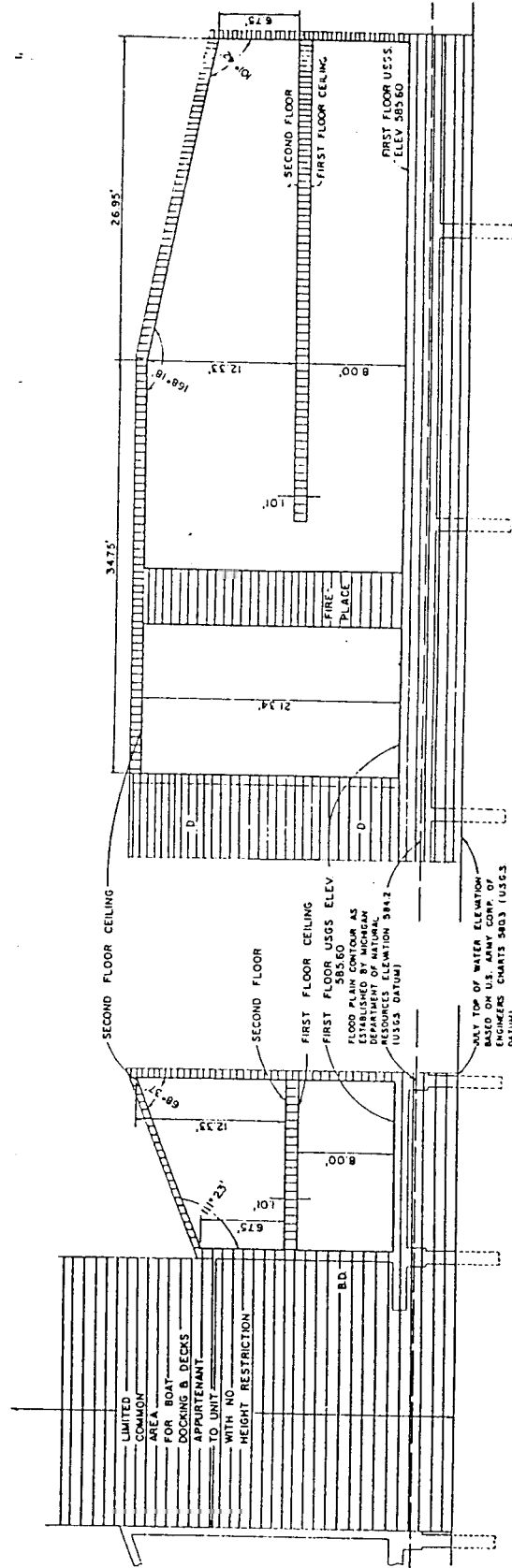
UTILITY	LEGEND	SOURCE OF LOCATION
CAB	-----	CABLE TELEVISION
SAW	-----	SANITARY SEWER
ST	-----	STORM SEWER
WAT	-----	WATERMAIN
GAS	-----	GAS MAIN
TL	-----	TELEPHONE
EL	-----	ELECTRIC
0	-----	SANITARY MAN-HOLE
2	-----	WATER VALVE
5	-----	FIRE HYDRANT
3	-----	ELECTRIC TELEPOLE
6	-----	CATCH BASIN
4	-----	METER (UNITS 1-37, 68-89, 102-106)



UNIT NUMBERS IN CIRCLES HAVE BEEN ELIMINATED
 UNIT NUMBERS IN SQUARES HAVE BEEN ELIMINATED
 UNITS 1-37, 68-89, 102-106 ARE SERVICED WITH GAS BY THE MICHIGAN POWER COMPANY
 UNITS 1-37, 68-89, 102-106 ARE SERVICED WITH TELEPHONE BY MICHIGAN BELL TELEPHONE COMPANY
 UNITS 1-37, 68-89, 102-106 ARE SERVICED WITH WATER BY THE CITY OF INDIANAPOLIS
 UNITS 1-37, 68-89, 102-106 ARE SERVICED WITH POWER BY THE INDIANA AND MICHIGAN ELECTRIC COMPANY

370 MOORE STREET ST. JOSEPH, INDIANA 47784

- LEGEND**
- ▨ GENERAL COMMON ELEMENT
 - ▨ LIMITED COMMON ELEMENT
 - ▨ LIMITED OF OWNERSHIP
 - ▨ DECK AREA - APARTNMENT TO UNIT
- NOTE:**
- ALL DIMENSIONS ARE IN FEET
 - ALL WALLS ARE AT RIGHT ANGLES TO EACH OTHER UNLESS NOTED.
 - BOAT DOCK - APARTNMENT TO UNIT



SECTION F-F

SECTION E-E

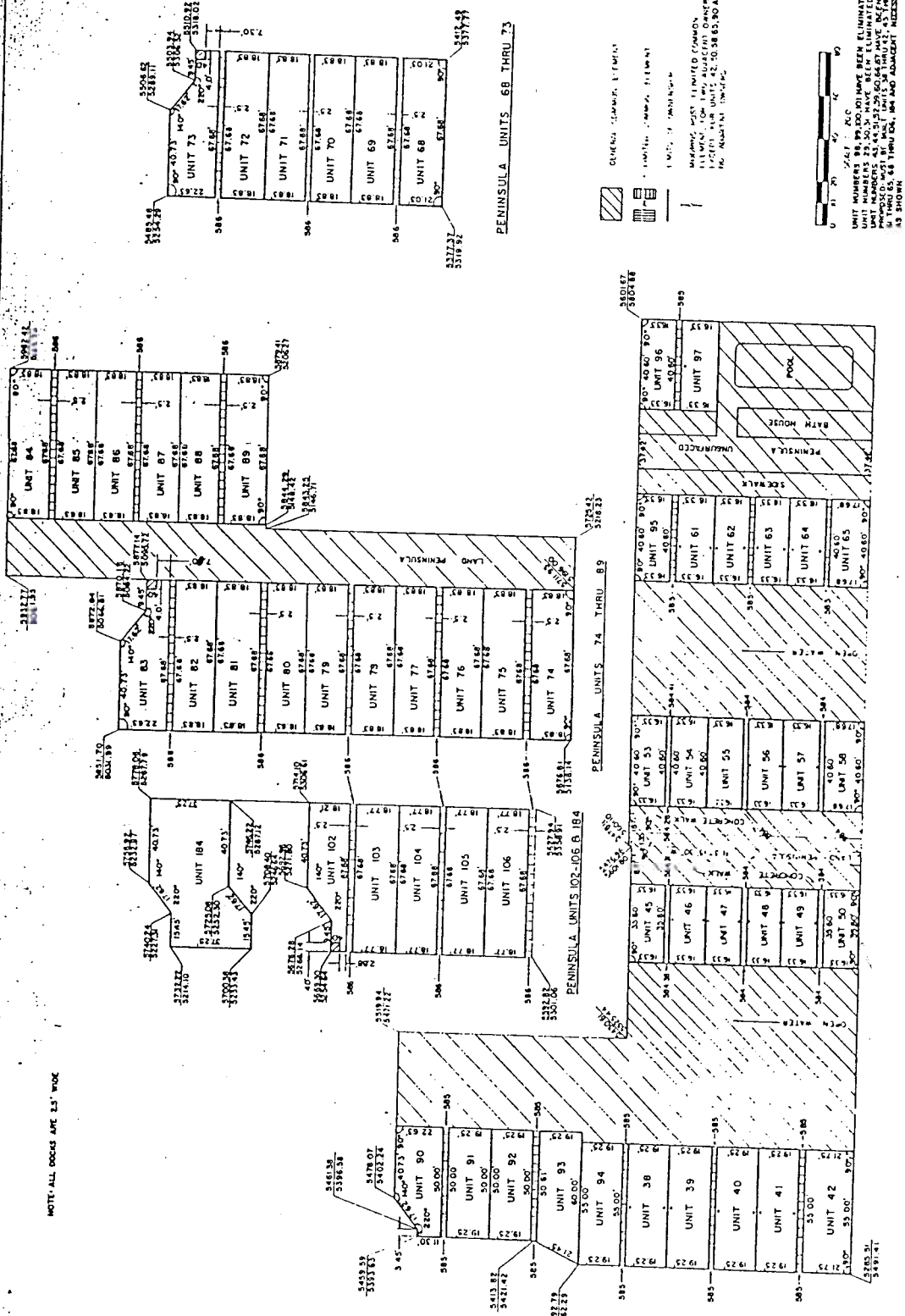


NOTE: UNITS 32-37, 40-43 & 44 MUST BE BUILT

PROPOSED

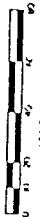
SOUTHGROVE, INC.
 301 MAIN STREET, SUITE 200, ANN ARBOR, MI 48106
 REGISTERED PROFESSIONAL ENGINEERS
 LICENSE NO. 15742
 PROJECT NO. 15742
 DATE: 11/11/11
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN
 SCALE: AS SHOWN

NOTE: ALL DOGS ARE 2 1/2" WIDE



OLIVERI PLUMBING, E. TOWN
1075 W. MAIN ST.
MADISON, WISCONSIN

WARNING: MOST LIMITED COMMON
ELEMENTS FOR LEASING OR OWNERS
IN PENINSULA UNITS 85 TO 88, 90 AND 92
ARE IN COMMON AREAS.



UNIT NUMBERS 84, 86, 87, 88, 89, 90, 91, 92, 94, 95, 96, 97, 98, 99
HAVE BEEN ELIMINATED IN
THIS PLAN. ONLY UNITS 73-83, 84, 85, 86, 87, 88, 89, 90, 91, 92,
94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108,
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992, 993, 994, 995, 996, 997, 998, 999, 1000

PENINSULA UNITS 38 THRU 42, 45 THRU 50, 53 THRU 58, 61 THRU 65, 90 THRU 91

NEW BUFFALO SURVEYING, INC.
100 EAST MAIN STREET, BUFFALO, WISCONSIN 53005
WISCONSIN SURVEYOR LICENSE NO. 1248
WISCONSIN ASSOCIATES, INC.
51 JOHNSON WISCONSIN 53005

LEGEND

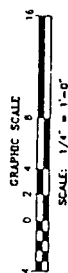
- LIMITS OF OWNERSHIP
- M 0000.00 NORTH COORDINATE
- E 0000.00 EAST COORDINATE
- GENERAL COMMON ELEMENT
- LIMITED COMMON ELEMENT
- SLOPE CEILING

B.D. = BOAT DOCK (APPROXIMATE TO UNIT)
 D = DECK (APPROXIMATE TO UNIT)
 F = FIREPLAC

UNIT	POINT	NORTH	EAST
163	A	583761	515246
	B	580452	517231
164	A	573222	521410
	B	570033	523343

NOTES

ALL DIMENSIONS ARE IN FEET
 ALL WALLS ARE AT RIGHT ANGLES TO EACH OTHER UNLESS NOTED
 ADJACENT UNITS HAVE COMMON WALL CONSTRUCTION, SEE COORDINATES AT COMMON WALL CENTRELINE
 UNITS 163 & 164 MUST BE BOAT



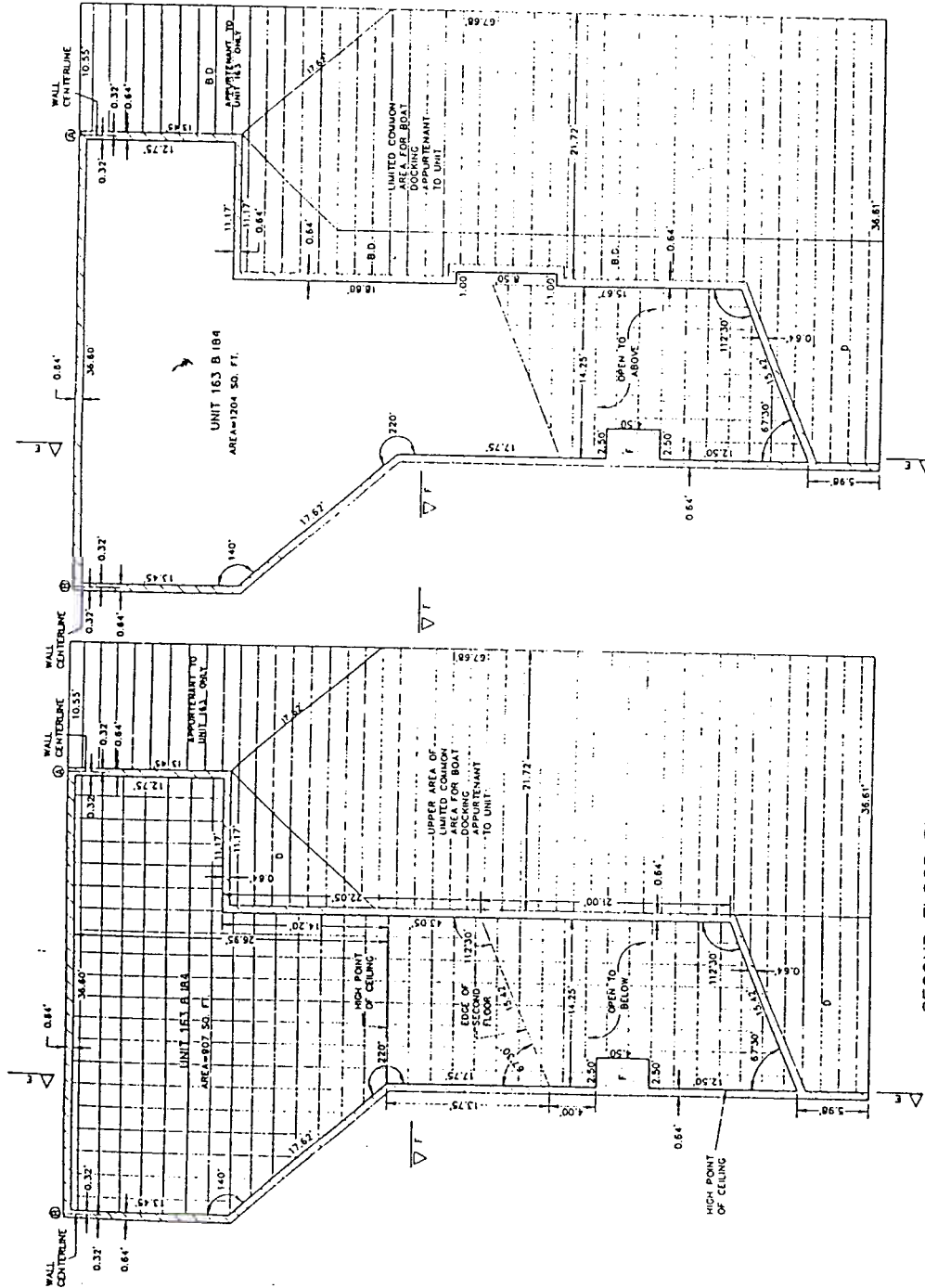
PROPOSED

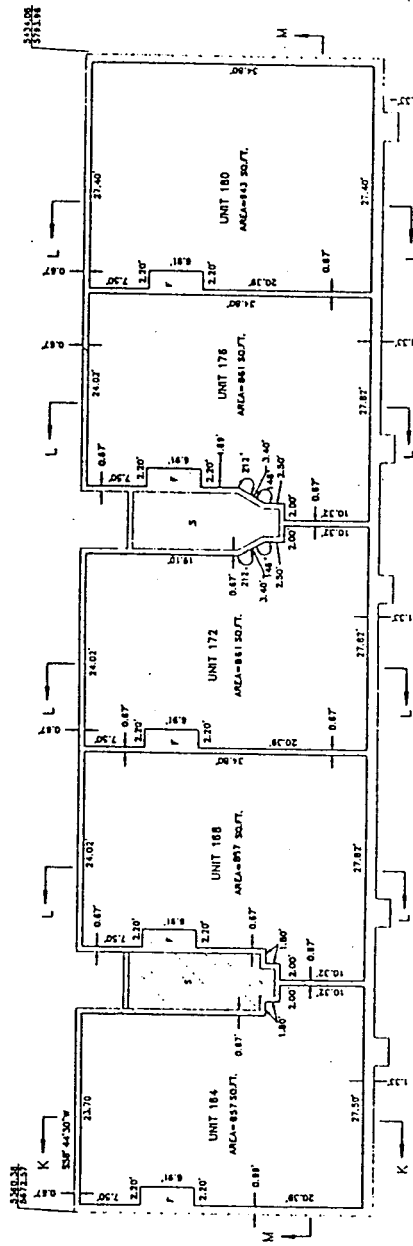


SOUTHCOVE
 NEW BUFFALO HARBOR, INC.
 903 MAIN ST. JOSEPH, MICHIGAN 49783
 616-271-8787
 WIGHTMAN & ASSOCIATES, INC.
 870 BRIDGE STREET, JOSEPH, MICHIGAN 49783
 616-271-1644

FIRST FLOOR PLAN

SECOND FLOOR PLAN



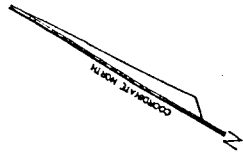


NOTE: UNITS 184, 172, 176, 180
MUST BE BUILT

LEGEND
ALL DIMENSIONS ARE IN FEET
ALL WALLS ARE AT RIGHT ANGLES TO
EACH OTHER UNLESS NOTED
S = STAIRWAY

F = PROPOSED
DOTTED - NOT IN COMPLIANCE
DOTTED - EXISTING
--- = LIMITS OF OVERSIGHT
--- = SPECIAL COMMON EIGHT
--- = LIMITED COMMON EIGHT

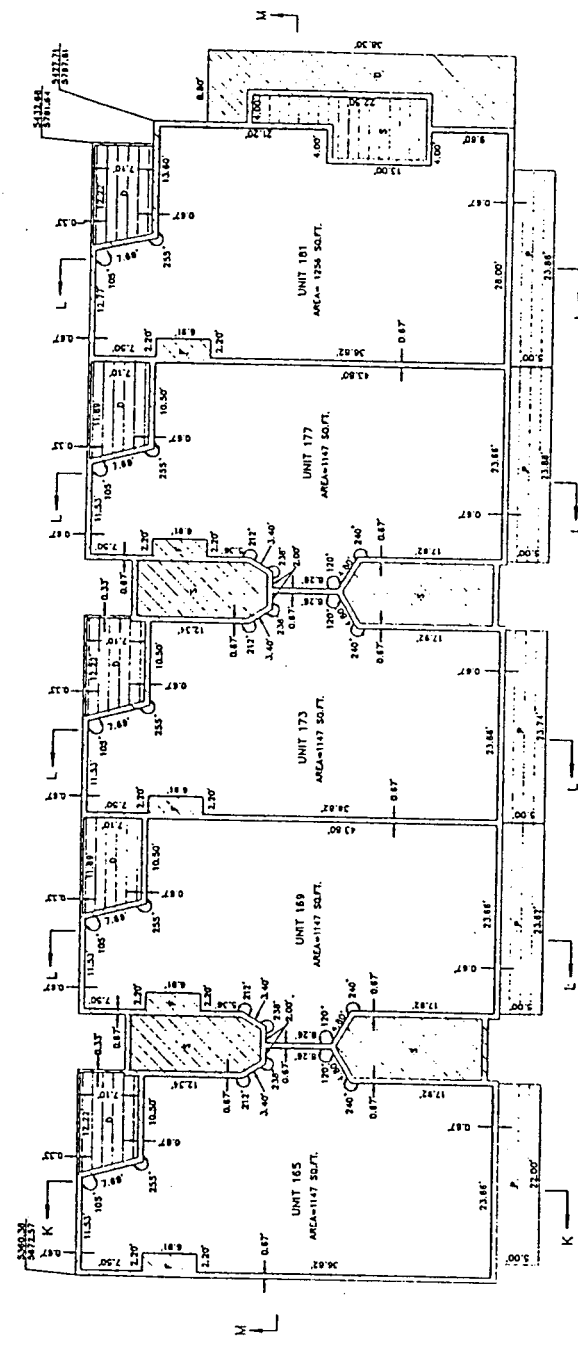
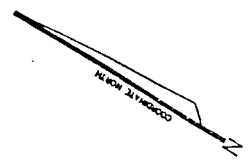
WATER LEVEL



PROPOSED

SOUTH COVE
100 WESTFIELD PARKWAY, BALTIMORE, MD 21201
301.484.1100
FAX 301.484.1101
WWW.SOUTHCOVE.COM

WORTHMAN & ASSOCIATES, INC.
REGISTERED PROFESSIONAL ENGINEER
BALTIMORE, MD 21201
301.484.1100



NOTE: UNITS 165, 169, 173, 177, 181
MUST BE BUILT

FIRST FLOOR

- LEGEND**
- ALL DIMENSIONS ARE IN FEET
 - ALL WALLS ARE 1/2 BRICK UNLESS TO EACH OTHER UNLESS NOTED
 - S = STAIRWAY
 - D = DECK APPURTENANT TO UNIT
 - P = PATIO APPURTENANT TO UNIT
 - F = FIREPLACE
 - 0000.00 = NORTH COORDINATE
 - 0000.00 = EAST COORDINATE
 - = LIMITS OF OWNERSHIP
 - [Hatched Box] = GENERAL COMMON ELEMENT
 - [Dotted Box] = LIMITED COMMON ELEMENT

PROPOSED

SOUTHCOVE
103 MAIN STREET ST. LOUIS, MISSOURI 63068

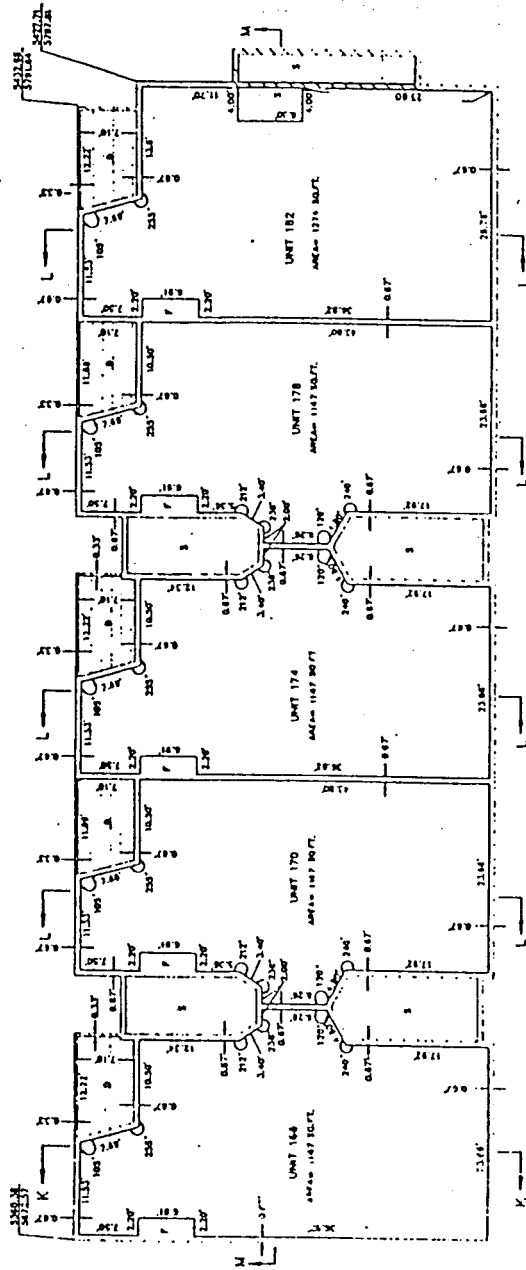
WIGHTMAN & ASSOCIATES, INC.
275 BRADDOCK STREET ST. LOUIS, MISSOURI 63068

ARCHITECTS

DATE: 11/15/70

PROJECT NO. 1000

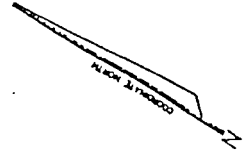
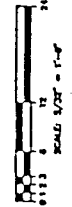
SCALE: 3/32" = 1'-0"



NOTE: UNITS 174, 178, 179, 179A, 182 MUST BE PAINT

SECOND FLOOR

- LEGEND**
- ALL DIMENSIONS ARE IN FEET
 - ALL WALLS ARE AT RIGHT ANGLES TO EACH OTHER UNLESS NOTED
 - S = STAIRWAY
 - B = BICK APARTMENT TO UNIT
 - P = P/NO APARTMENT TO UNIT
 - F = FIREPLACE
 - ROOM NO. = ROOM IN CONDOMINIUM
 - ROOM NO. - UNIT CONDO UNIT
 - ROOM NO. - UNIT CONDO UNIT
 - ROOM NO. - UNIT CONDO UNIT

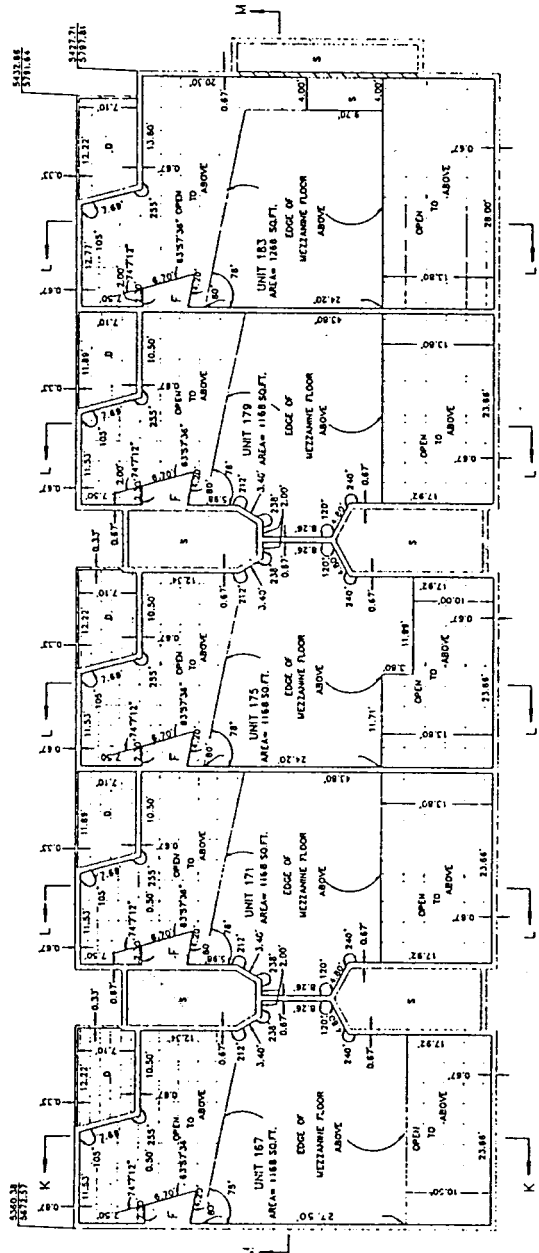


- [Symbol] = SPECIAL COMMON ELEMENT
- [Symbol] = LIMITED COMMON ELEMENT

PROPOSED:

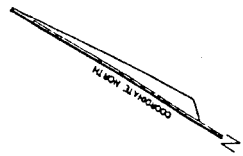
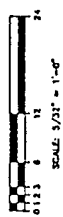


SOUTHCOKE
NEW BRITAIN, CONNECTICUT
WICHAMAN & ASSOCIATES, INC.
170 BRIDGE STREET, 2ND FLOOR, NEW BRITAIN, CT 06101
TEL: 860-526-1100
FAX: 860-526-1101



THIRD FLOOR

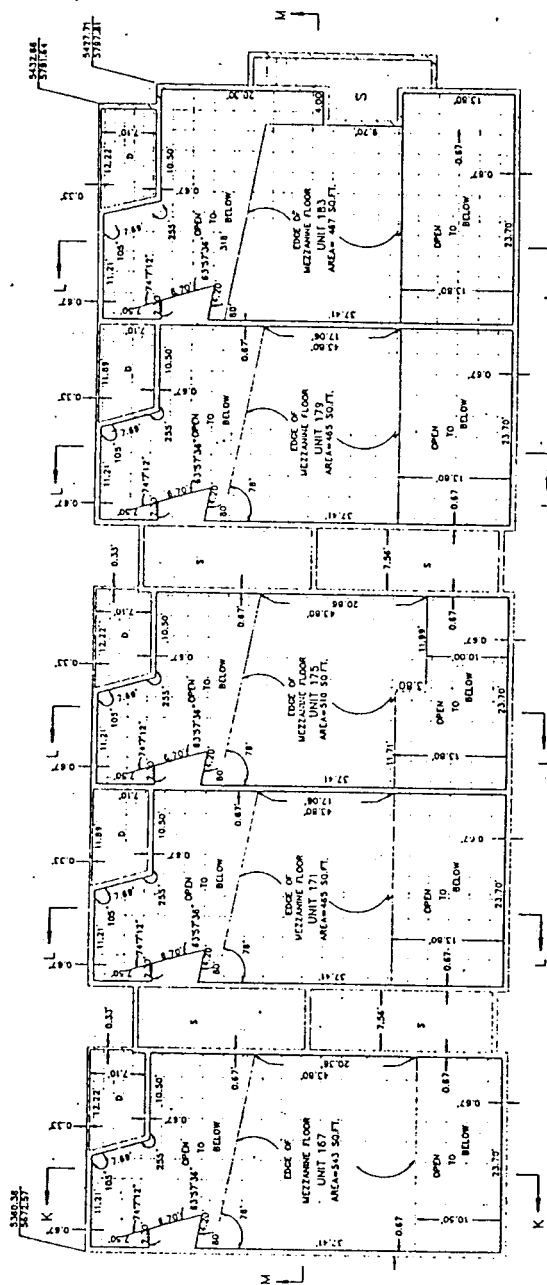
- LEGEND**
- ALL DIMENSIONS ARE IN FEET
 - ALL WALLS ARE AT RIGHT ANGLES TO EACH OTHER UNLESS NOTED
 - S = STAIRWAY
 - D = DECK APPURTENANT TO UNIT
 - F = FIREPLACE
 - 0.00' 0.00' = NORTH COORDINATE
 - 0.00' 0.00' = EAST COORDINATE
 - = LIMITS OF DEVELOPMENT
 - [Symbol] = GENERAL COMMON ELDORHT
 - [Symbol] = LIMITED COMMON ELDORHT
 - [Symbol] = SLOPE CEILING



NOTE: UNITS 157, 171, 175, 179, 183 MUST BE BUILT

PROPOSED

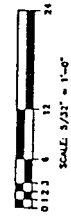
SOUTH COVE, INC.
 803 MAIN STREET, ST. ANDREW, CAROLINA 29086
 LICENSE NO. 12-10112



LEGEND
 ALL DIMENSIONS ARE IN FEET
 ALL WALLS ARE AT RIGHT ANGLES TO EACH OTHER UNLESS NOTED

- S = STAIRWAY
- D = DECK APPURTAINANT TO UNIT
- F = FIREPLACE
- NOT TO SCALE
- 2000.00 = EXISTING ELEVATION
- 2000.00 = EXISTING ELEVATION
- = LIMITS OF DIMENSIONS
- [Symbol] = GENERAL COMMON ELEMENT
- [Symbol] = LIMITED COMMON ELEMENT
- [Symbol] = SLOPE CEILING

MEZZANINE FLOOR

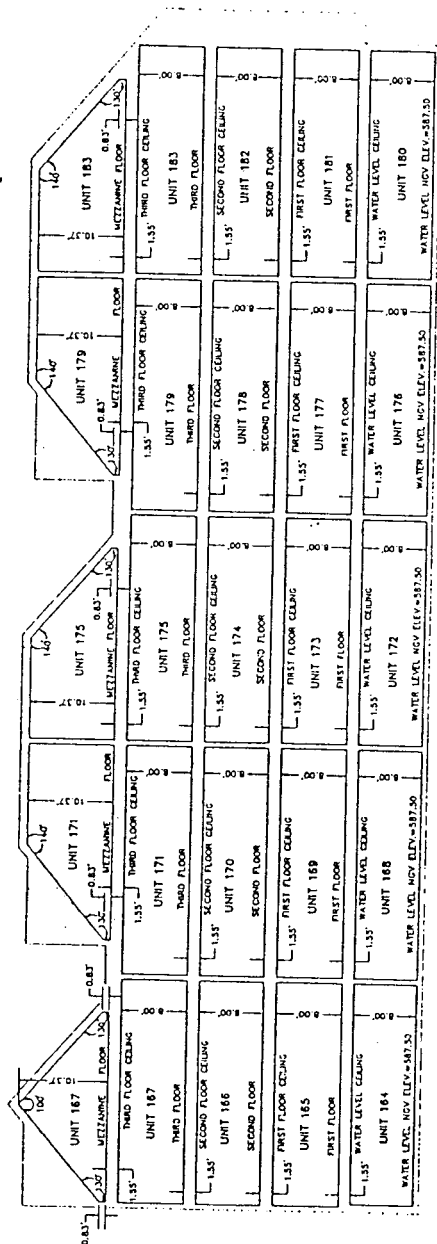


NOTE: UNITS 167, 171, 173, 175, 183
 MUST BE BUILT

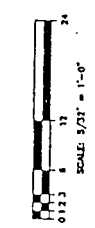
PROPOSED



SOUTHCOVE
 165 SOUTH COVE ROAD
 NEW BRITAIN, CONNECTICUT 06103
 (860) 254-1111
WICHITMAN & ASSOCIATES, INC.
 970 BRIDGEMAN STREET, SUITE 200
 BRIDGEVILLE, PENNSYLVANIA 15005
 (412) 835-6600



SECTION M-M, UNITS 164-183



LEGEND:
 ALL DIMENSIONS ARE IN FEET
 ALL WALLS ARE SHOWN AT ANGLES TO
 FLOOR OTHER WALLS TO BE DETERMINED
 P = PATIO APPURTENANT TO UNIT
 --- = LIMITS OF OWNERSHIP
 [] = GENERAL COMMON ELEMENT
 [] = LIMITED COMMON ELEMENT

NOTE: UNITS 164-183 MUST BE BUILT

PROPOSED

SOUTH COVE
 NEW BUFFALO HARBOR, INC.
 801 MAIN STREET, 31 JOSEPH, MICHIGAN 49755
 SOUTH COVE
 WIGHTMAN & ASSOCIATES, INC.
 870 BRINDLE STREET, ST. JOSEPH, MICHIGAN 49785
 SOUTH COVE (UNITS 164-183) 1-11-78