

RECORDED

AUG 29 1 59 PM '89

TENTH AMENDMENT TO SOUTHCOVE MASTER DEED
EXHIBIT "B", CONDOMINIUM SUBDIVISION PLAN
Revised
REGISTER OF DEEDS
SERRIE COUNTY MICHIGAN

Condominium Subdivision Plans, being Exhibit "B", are hereby amended as follows:

- "Add Four (4) Units, numbered 160, 161, 162 and 163"
- "Delete Four (4) Units, numbered 98, 99, 100, 101."

The new units described above are as shown on the attached Amended Condominium Subdivision Plan which is made a part hereof. This Amendment does alter the percentage of value assigned to any unit in Southcove and does change the allocable expenses and/or percentage interest of any value assigned to each unit as computed in accordance with Article V of the Master Deed.

The number of units as referred to in Article V (c) shall be 148 units and each of said units shall be considered to have a percentage of value as indicated on attached Exhibit 1.

This Amendment is submitted in accordance with the authority given New Buffalo Harbor, Inc., a Michigan Corporation, as developer, by Public Act 59 of 1978 as amended; as directed by a vote of the Board of Directors to amend the Master Deed to accomplish the inclusion of said units in The Southcove Association and by the consent of the developer to said Amendment which is also attached hereto and made a part hereof, in accordance with Article IX of the Master Deed previously filed and approved.

This Amendment is effective immediately upon its filing with

11-62-0009-0004-19-7

NBH/SC/11 8/22/89

the Register of Deeds Office, Berrien County, Michigan.

DATED: August 22, 1989

In the Presence Of:

Donna J. Rue
Donna J. Rue

Ellen C. Van Brocklin
Ellen C. Van Brocklin

NEW BUFFALO HARBOR, INC.

BY James L. Stevens
James L. Stevens
President

BY Rocco M. De Francesco
Rocco M. De Francesco
Secretary

STATE OF MICHIGAN)
) ss.
COUNTY OF BERRIEN)

On this 22nd day of August, 1989, the foregoing instrument was acknowledged before me by James L. Stevens, President of New Buffalo Harbor, Inc., and Rocco M. De Francesco, Secretary of New Buffalo Harbor, Inc., a Michigan Corporation, on behalf of the corporation.

Ellen C. Van Brocklin
Ellen C. Van Brocklin
Notary Public, Berrien County,
Michigan
My Commission Expires:
September 16, 1989

PREPARED BY:
ROCCY M. DE FRANCESCO
DE FRANCESCO & DE FRANCESCO
903 MAIN STREET
ST. JOSEPH, MICHIGAN 49085

NBH/SC/II 8/22/89

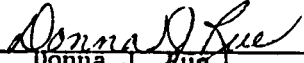
CONSENT BY DEVELOPER TO TENTH
AMENDMENT TO SUBDIVISION PLAN
OF EXHIBIT B AND OTHER PROVISIONS

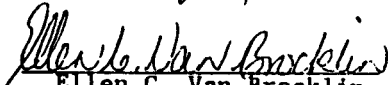
The undersigned, being the Developer of Southcove, a condominium in Berrien County, Michigan, hereby consents to the modification to the drawings, pages number X-1433-1, X-1433-2, X-1433-3, X-1433-4, X-1433-5, X-1433-10, X-1433-11, X-1433-12, X-1433-20, X-1433-21, of the Condominium Subdivision Plan, (Exhibit B to the Master Deed) and to the other provisions included in that document.

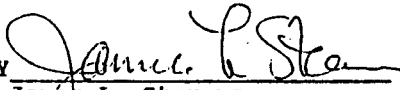
Dated: August 22, 1989

MEW BUFFALO HARBOR, INC.

IN THE PRESENCE OF:


Donna J. Rue


Ellen C. Van Brocklin

BY 
James L. Stevens
President

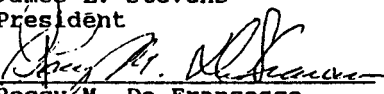
BY 
Rocco M. De Francesco
Secretary

EXHIBIT 1 TO TENTH
AMENDMENT TO MASTER DEED

The following is a schedule of units and the percentage of value assigned to each unit:

1.	0.78	38.	0.34	110.	0.46
2.	0.78	39.	0.34	111.	0.46
3.	1.15	40.	0.34	112.	0.46
4.	0.65	41.	0.34	113.	0.46
5.	0.65	42.	0.38	114.	0.46
6.	0.96	47.	0.19	115.	0.48
7.	0.96	48.	0.19	116.	0.18
8.	0.78	49.	0.19	117.	0.18
9.	0.78	50.	0.19	118.	0.18
10.	1.15	55.	0.20	119.	0.18
11.	0.96	56.	0.20	120.	0.18
12.	0.96	57.	0.20	121.	0.18
13.	0.78	58.	0.20	122.	0.18
14.	0.78	61.	0.20	123.	0.18
15.	1.15	62.	0.20	124.	0.58
16.	0.96	63.	0.20	125.	0.58
17.	0.96	64.	0.20	126.	0.58
18.	0.78	65.	0.20	127.	0.58
19.	0.78	79.	0.40	128.	0.58
20.	1.15	80.	0.40	129.	0.58
21.	0.65	81.	0.40	130.	0.58
22.	0.65	82.	0.40	131.	0.62
23.	0.96	83.	0.35	132.	0.62
24.	0.96	84.	0.40	133.	0.62
25.	0.65	85.	0.40	134.	0.62
26.	0.65	86.	0.40	135.	0.43
27.	0.65	87.	0.40	136.	0.43
28.	0.65	88.	0.40	137.	0.43
32	1.99	89	0.40	138.	0.43
33.	1.99	90.	0.35	139.	0.78
34.	1.99	91.	0.30	140.	1.09
35.	1.99	92.	0.30	141.	1.49
36.	1.99	93.	0.34	142.	1.87
37.	1.99	94.	0.34	143.	1.09
45.	0.19	95.	0.20	144.	1.49
46.	0.19	96.	0.20	145.	0.78
53.	0.21	97.	0.20	146.	1.09
54.	0.21	102.	0.20	147.	1.09
68.	0.49	103.	0.20	148.	1.49
69.	0.40	104.	0.20	149.	0.79
70.	0.40	105.	0.20	150.	1.09
71.	0.40	106.	0.20	151.	1.09
72.	0.40	107.	0.48	152.	1.49
73.	0.35	108.	0.48	153.	0.79
74	0.40	109.	0.46	154.	1.09
75.	0.40			155.	1.09
76.	0.40			156.	1.49
77.	0.40			157.	1.18
78.	0.40			158.	1.22
				159.	1.78
				160.	1.99
				161.	1.99
				162.	1.99
				163.	1.99

NBH/SC/11 8/22/89

SURVEYOR'S CERTIFICATE

I, JOHN S. KAMER, REGISTERED LAND SURVEYOR OF THE STATE OF MICHIGAN, HEREBY CERTIFY THAT THE SUBDIVISION PLAN KNOWN AS BERRICH COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 8 AS SHOWN ON THE ACCOMPANYING DRAWINGS, REPRESENTS A SURVEY ON THE GROUND MADE UNDER MY DIRECTION, THAT THERE ARE NO EXISTING ENCROACHMENTS UPON THE LANDS AND PROPERTY HEREIN DESCRIBED.

THAT THE REQUIRED MONUMENTS AND IRON MARKERS HAVE BEEN LOCATED IN THE GROUND AS REQUIRED BY RULES PROMULGATED UNDER SECTION 142 OF ACT NO. 39 OF THE PUBLIC ACTS OF 1978.

THAT THE ACCURACY OF THIS SURVEY IS WITHIN THE LIMITS REQUIRED BY THE RULES PROMULGATED UNDER SECTION 142 OF ACT NO. 39 OF THE PUBLIC ACTS OF 1978.

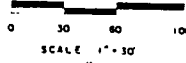
THAT THE BEARINGS, AS SHOWN, ARE NOTED ON SURVEY PLAN AS REQUIRED BY THE RULES PROMULGATED UNDER SECTION 142 OF ACT NO. 39 OF THE PUBLIC ACTS OF 1978.

E-18 89
DATE

JOHN S. KAMER, TREASURER
R. L. S. 2748
WIGHTMAN & ASSOCIATES, INC.
920 BROAD ST. ST. JOSEPH, MI 49885



EASEMENT TO INDIANA & MICHIGAN ELECTRIC COMPANY FOR OVERHEAD & UNDERGROUND SERVICE RECORDED IN LIBER 002 PAGES 1131-1132



THE MOORINGS' CONDOMINIUM
LIBER 7 PAGES 37-43 & 62-66

EASTERLY MOST CORNER OF LOT 6, BLOCK 1 OF THE RECORDED PLAT OF 'SUNSET SHORES' IN 1

EASEMENT TO THE MOORINGS' CONDOMINIUMS FOR PUBLIC UTILITIES RECORDED IN LIBER 1140, PAGES 777-779

EASEMENT TO INDIANA & MICHIGAN ELECTRIC COMPANY FOR OVERHEAD & UNDERGROUND SERVICE RECORDED IN LIBER 002, PAGES 1131-1132

EASEMENT TO THE MOORINGS' CONDOMINIUMS FOR PARKING & PUBLIC UTILITIES RECORDED IN LIBER 002, PAGES 1133 PAGES 1134 THROUGH 1135

WATER STREET (PUBLIC)
POINT OF BEGINNING

WEST ADDITION LIBER 6 PAGE 290

NORTHERLY CORNER OF BLOCK F WEST ADDITION TO THE VILLAGE OF NEW BUFFALO, CITY OF NEW BUFFALO

PROPOSED FUTURE DEVELOPMENT

WILLARD STREET (PUBLIC)

SURVEYORS AFFIDAVIT RECORDED IN LIBER 1163, PAGE 212

PROPOSED FUTURE DEVELOPMENT

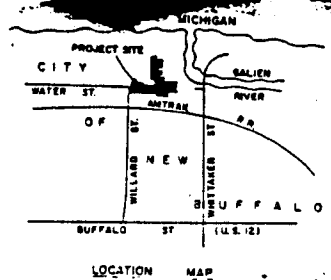
PROPOSED FUTURE DEVELOPMENT

SURVEYORS AFFIDAVIT RECORDED IN LIBER 1163, PAGE 212

30' WIDE EASEMENT FOR INGRESS & EGRESS, UTILITIES & CONSTRUCTION TO NEW BUFFALO, HARBOR, INC.

24' WIDE PEDESTRIAN WALK EASEMENT FOR 'SOUTHCOVE' RECORDED IN LIBER 127, PAGES 22, 24, & 27

PROPOSED SOUTHCOVE NEW BUFFALO HARBOR, INC.
303 MAIN STREET ST. JOSEPH, MICHIGAN 49885
NOTED
12-8-82
WRIGHTMAN & ASSOCIATES, INC.
920 BROAD STREET ST. JOSEPH, MICHIGAN 49885
SURVEY PLAN ALSO SEE X-1433-2A X-1433-2B



NOTE: SURVEY BEARINGS ARE REFERENCED OFF THE RECORDED PLAT OF 'SUNSET SHORES' NUMBER ONE, CITY OF NEW BUFFALO, BERRICH COUNTY, MICHIGAN

N48°15'E 26.37
N43°15'E 52.44
S 81°15'30"E 14.56

N58°44'30"E 42.03

S 1°15'30"E 67.68

S58°44'30"W 15.45

S 81°15'30"E 15.24

S31°15'30"E 250.77

S 58°44'30"W 40.73

N 58°44'30"E 40.73

N58°44'30"E 15.45

S 58°44'30"W 17.62

S 31°15'30"E 100.79

N18°44'30"E 17.62

S 58°44'30"W 69.68

PROPOSED

S31°15'30"E 161.92

N58°44'30"E 15.45

N18°44'30"E 17.62

N 58°44'30"E 80.69

DEVELOPMENT

104.50'
S 31°15'30"E

89.33'

N 31°15'30"W 1.35'

N 58°44'30"E

N 58°44'30"E 238.30'

30' WIDE ELECTRIC UTILITY EASEMENT

EASEMENT TO INDIANA & MICHIGAN ELECTRIC COMPANY FOR OVERHEAD & UNDERGROUND SERVICE RECORDED IN LIBER 094, PAGES 684-685

NOTE: ENTIRE PROPERTY SUBJECT TO A 'BLANKET' EASEMENT FOR RAILROAD WATER PIPES AS RECORDED IN LIBER 185, PAGE 323

24' WIDE PEDESTRIAN WALK EASEMENT FOR 'THE MOORINGS' RECORDED IN LIBER 1206, PAGE 208

S 31°15'30"E 59.00'

S 58°44'30"W 250.31'

S 31°15'30"E 59.00'

30' WIDE PRIVATE EASEMENT FOR PUBLIC & PRIVATE UTILITIES

30' WIDE PRIVATE EASEMENT FOR PUBLIC & PRIVATE UTILITIES

30' WIDE PRIVATE EASEMENT FOR PUBLIC & PRIVATE UTILITIES

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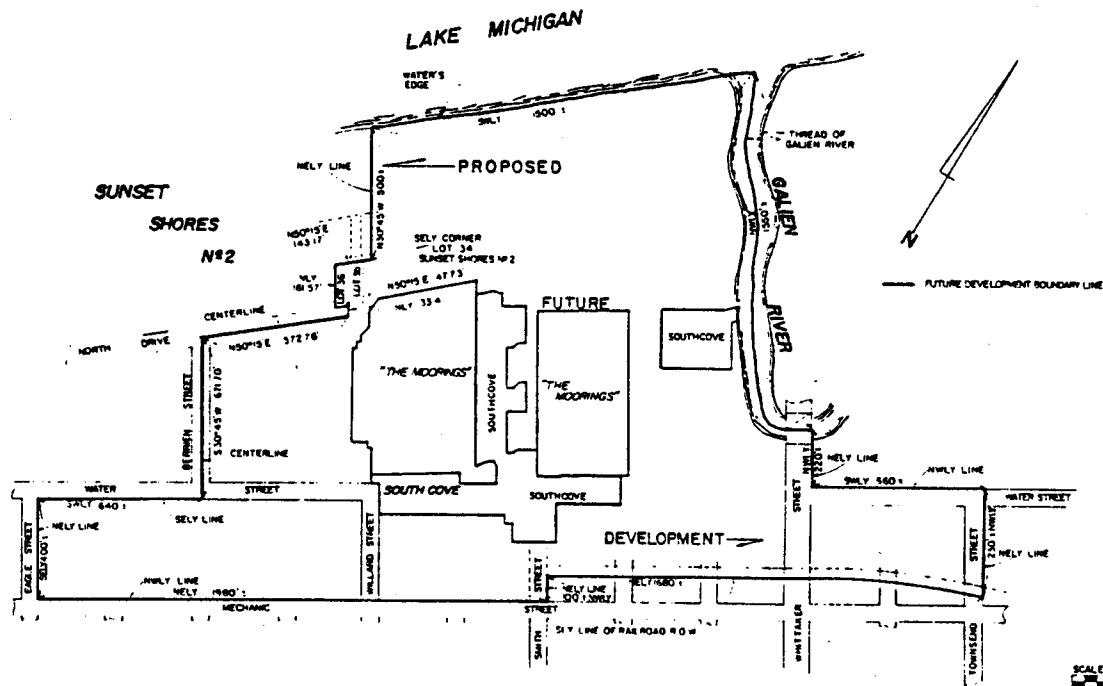
30' WIDE PRIVATE EASEMENT FOR PUBLIC & PRIVATE UTILITIES

30' WIDE PRIVATE EASEMENT FOR PUBLIC & PRIVATE UTILITIES

30' WIDE PRIVATE EASEMENT FOR PUBLIC & PRIVATE UTILITIES

OSELKA DR

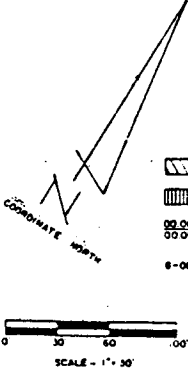
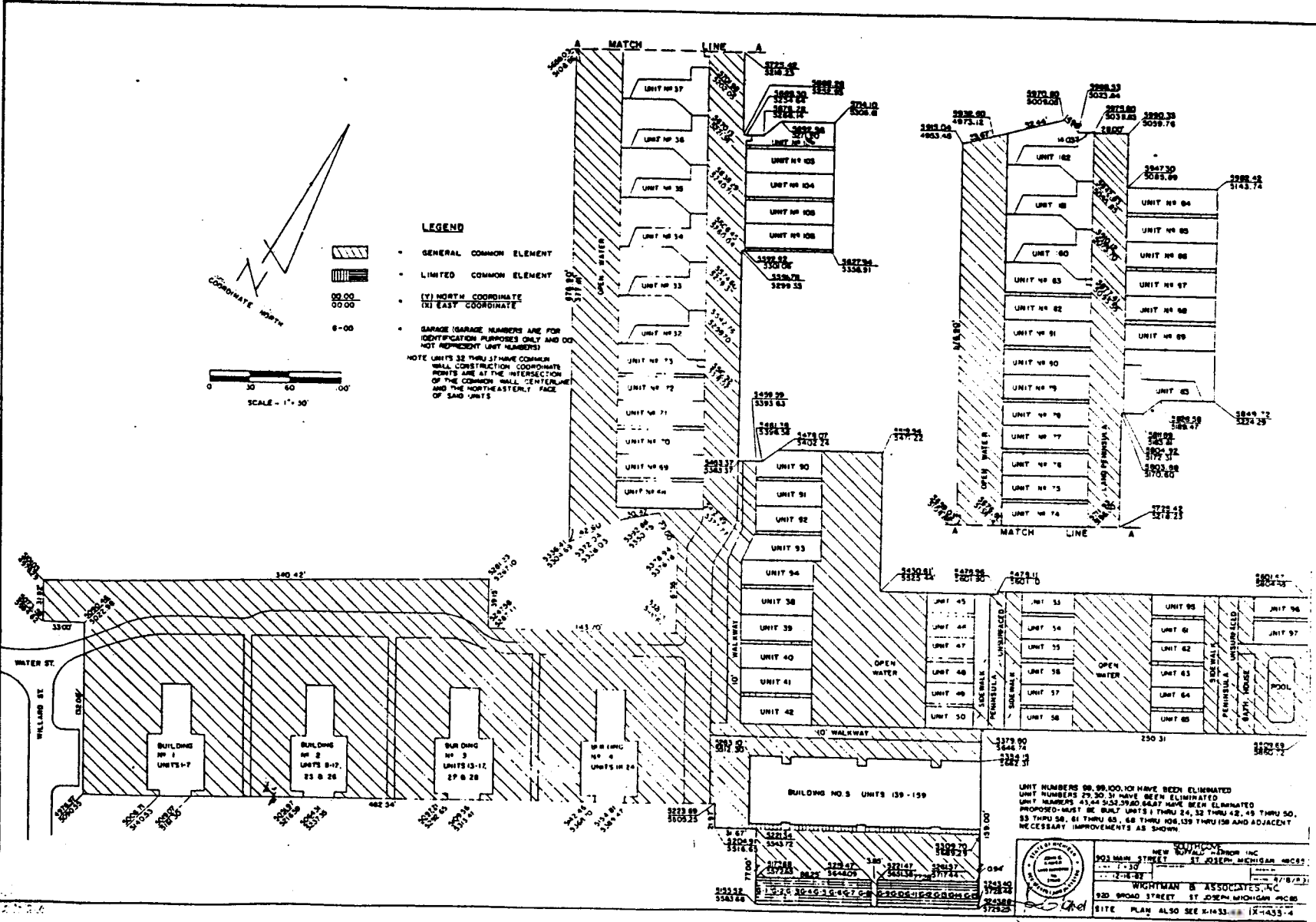




NOTE: PROPOSED FUTURE DEVELOPMENT AREA INCLUDES ALL PUBLIC AND PRIVATE RIGHT OF WAYS AND EASEMENTS WITHIN THE DEVELOPMENT BOUNDARIES



PROPOSED SOUTH COVE
 NEW BURNING HARBOR, INC.
 202 MAIN STREET ST. JOSEPH, MICHIGAN 49785
 SCALE 1" = 200'
 DATE 12-18-82
 WIGHTMAN & ASSOCIATES, INC.
 220 BRAGA STREET ST. JOSEPH, MICHIGAN 49785
 EXPANSION PLAN 12-14-82-3



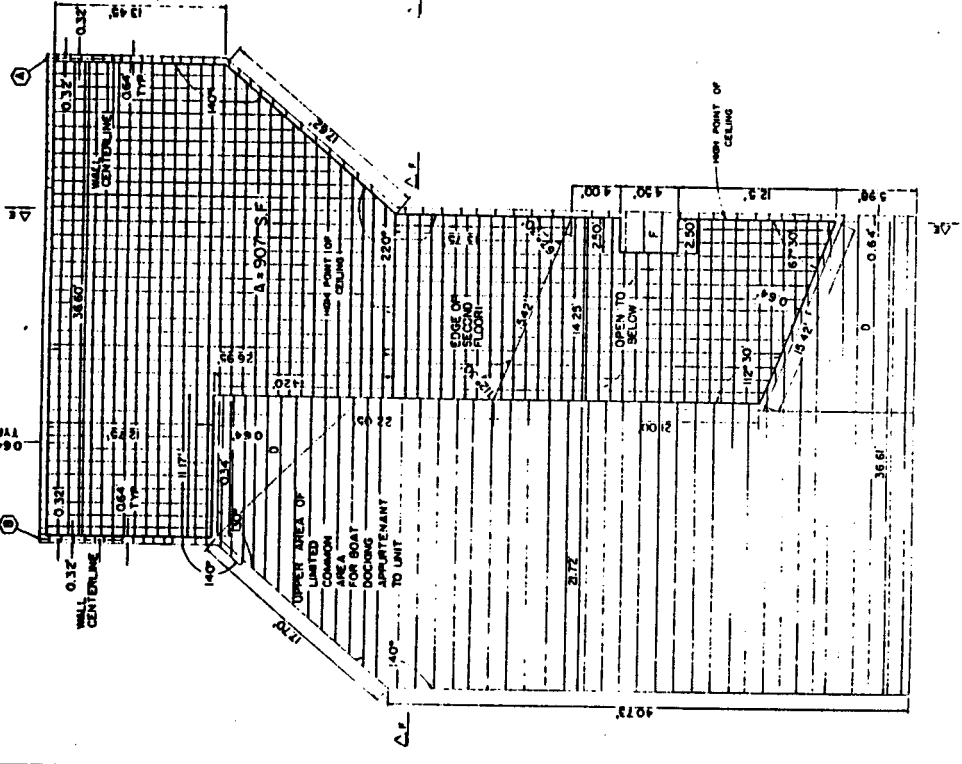
LEGEND

- GENERAL COMMON ELEMENT
- LIMITED COMMON ELEMENT
- (Y) NORTH COORDINATE
- (X) EAST COORDINATE
- GARAGE (GARAGE NUMBERS ARE FOR IDENTIFICATION PURPOSES ONLY AND DO NOT REPRESENT UNIT NUMBERS)

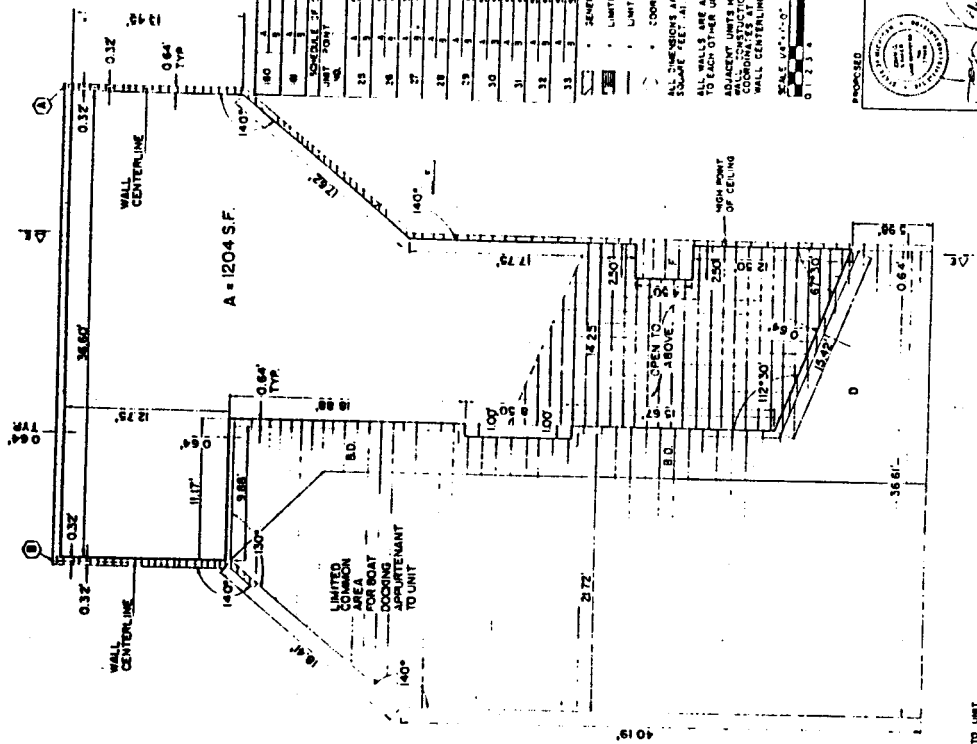
NOTE: UNITS 32 THRU 37 HAVE COMMON WALL CONSTRUCTION. COORDINATE POINTS ARE AT THE INTERSECTION OF THE COMMON WALL CENTERLINE AND THE NORTHEASTERN FACE OF SAID UNITS.

UNIT NUMBERS 99, 100, 101 HAVE BEEN ELIMINATED
 UNIT NUMBERS 29, 30, 31 HAVE BEEN ELIMINATED
 UNIT NUMBERS 41, 44, 52, 53, 59, 60, 64, 67 HAVE BEEN ELIMINATED
 PROPOSED MUST BE BUILT UNITS 1 THRU 24, 32 THRU 42, 45 THRU 50,
 53 THRU 58, 61 THRU 65, 68 THRU 108, 139 THRU 158 AND ADJACENT
 NECESSARY IMPROVEMENTS AS SHOWN.

SEAL OF ARCHITECT
 NEW BRUNSWICK, NEW JERSEY
 JOHN HANCOCK ARCHITECTS, INC.
 302 MAIN STREET, ST. JOSEPH, NEW JERSEY
 07435-1887
 DATE: 4/8/83
 WRITSMAN & ASSOCIATES, INC.
 530 SPOND STREET, ST. JOSEPH, NEW JERSEY 07435-1887
 SITE PLAN ALSO SEE R-1433-18-433-4



B.O. - BOAT DOCK-APARTMENT TO UNIT
 D - DECK-APARTMENT TO UNIT
 F - FIREPLACE
 SLOPED CEILING



B.O. - BOAT DOCK-APARTMENT TO UNIT
 D - DECK-APARTMENT TO UNIT
 F - FIREPLACE
 SLOPED CEILING

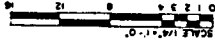
NO.	SCHEDULE OF COORDINATE	NORTH	EAST
1	247.4	2023.58	
2	180.1	2023.75	
3	180.1	2023.75	
4	247.4	2023.75	
5	247.4	2023.75	
6	312.83	2023.75	
7	312.83	2023.75	
8	312.83	2023.75	
9	312.83	2023.75	
10	312.83	2023.75	
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28	312.83	2023.75	
29	312.83	2023.75	
30	312.83	2023.75	
31	312.83	2023.75	
32	312.83	2023.75	
33	312.83	2023.75	
34	312.83	2023.75	
35	312.83	2023.75	

GENERAL COMMON ELEMENT
 LIMITS OF OWNERSHIP
 COORDINATE POINT
 ALL DIMENSIONS ARE IN FEET.
 WALLS ARE AT RIGHT ANGLES
 UNLESS NOTED OTHERWISE.
 WALLS CONSTRUCTION OF COMMON
 WALLS ARE AT COMMON
 WALL CENTERLINE
 SCALE: 1/4" = 1'-0"

PROJECTED

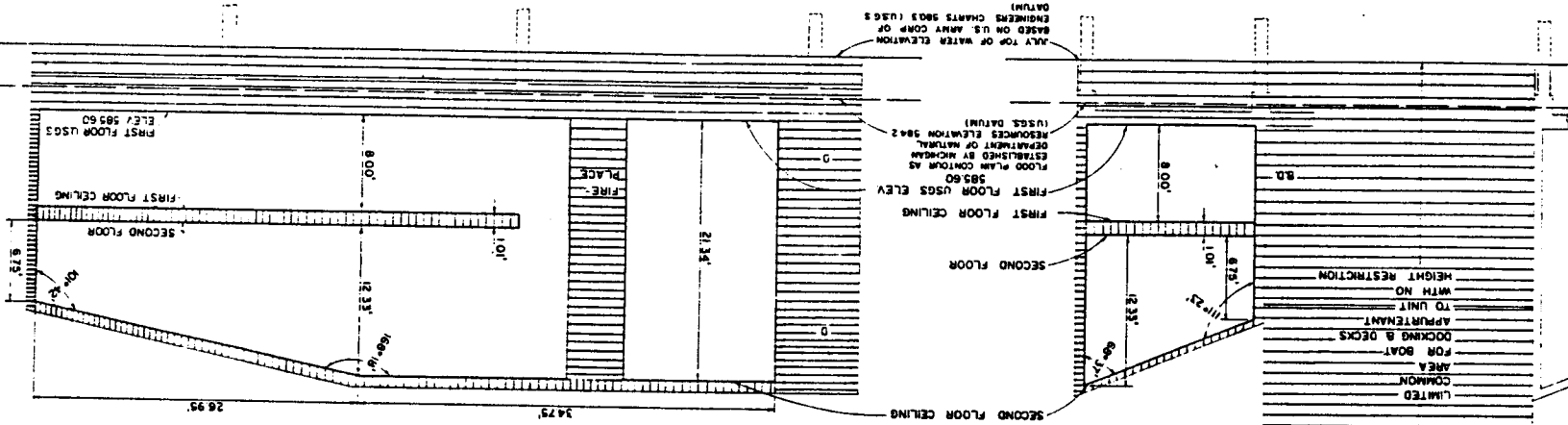
 SOUTH CAROLINA
 REGISTERED PROFESSIONAL ENGINEER
 NO. 24,346
 EXPIRES 12/31/2012
 AUGHTMAN & ASSOCIATES, INC.
 7105 BRIDGESHEET STATION, WOODGATE AREA
 COLUMBIA, SOUTH CAROLINA 29203
 803-739-8000
 12-1433

SECTION E-E CUTS THROUGH 37
 320 BRIND STREET ST. JOSEPH, MISSOURI
 WIGHTMAN & ASSOCIATES, INC.
 1-8-58
 1-8-58
 NEW BUFFALO MARINA INC
 301 MARSH STREET ST. JOSEPH, MISSOURI 64501
 SOUTHCOVE
 PROPOSED



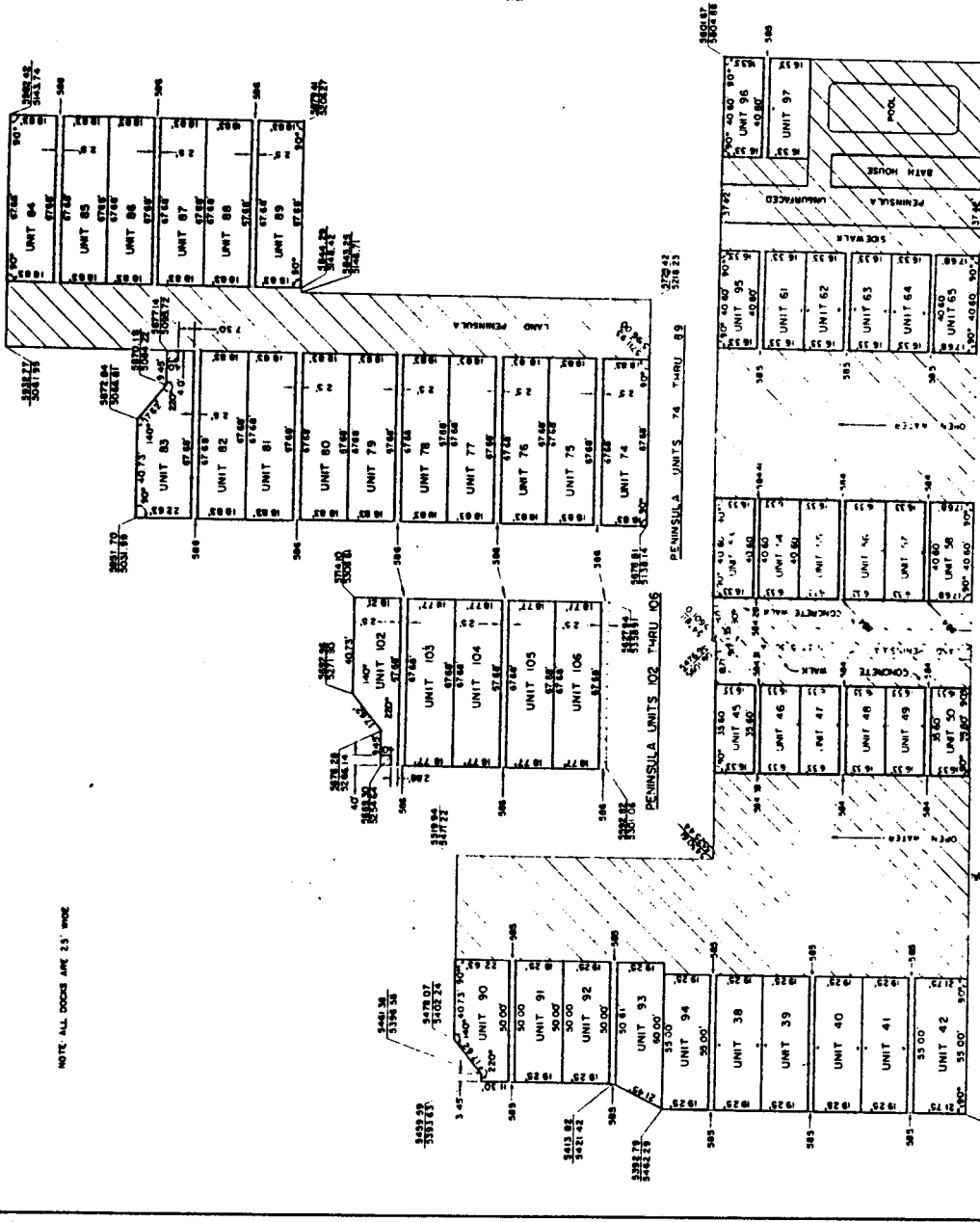
SECTION E-E

SECTION FF

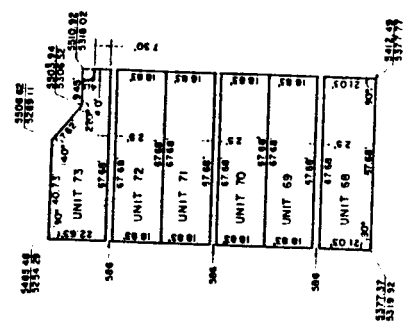


- LEGEND
- ▨ GENERAL COMMON ELEMENT
 - ▨ LIMITED COMMON ELEMENT
 - LIMITS OF OWNERSHIP
 - DECK AREA - APURTENANT TO UNIT
 - ALL DIMENSIONS ARE IN FEET
 - ALL WALLS ARE AT RIGHT ANGLES TO EACH OTHER UNLESS NOTED
 - BOAT DOCK - APURTENANT TO UNIT
- NOTE:

NOTE: ALL DOORS ARE 2.5' WIDE



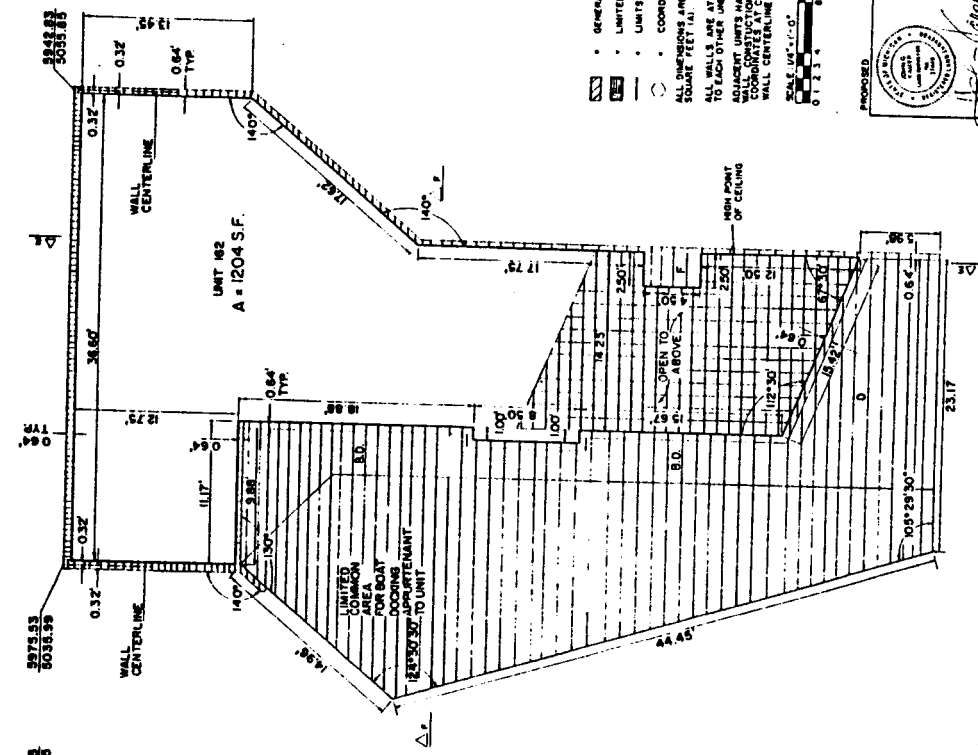
PENINSULA UNITS 68 THRU 73



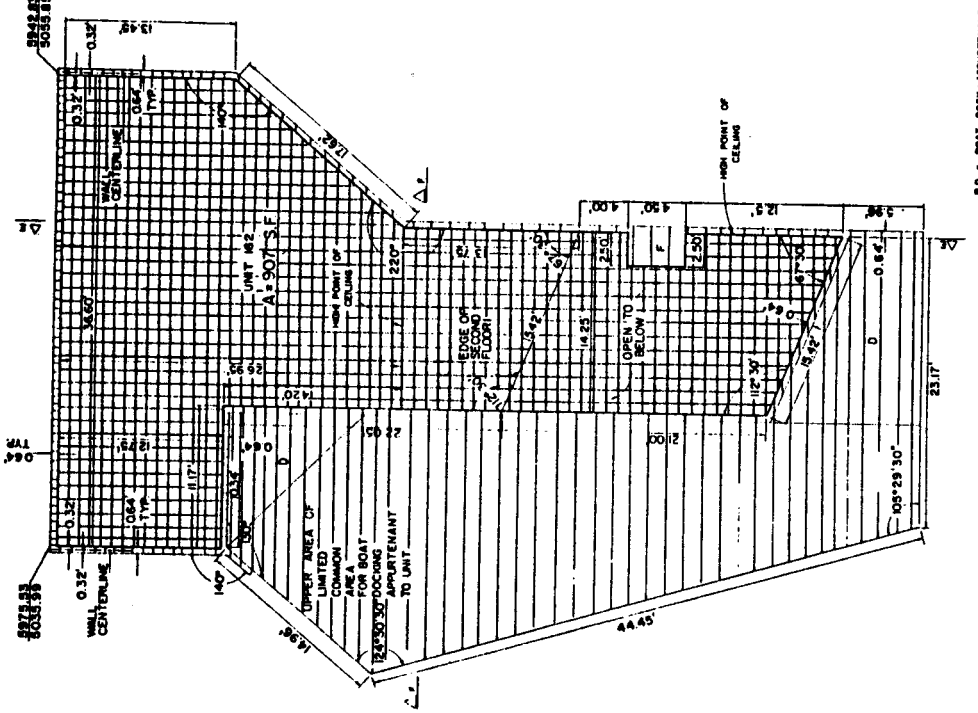
GENERAL COMMON ELEMENTS
 UNIT 1: UNIT 1
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 UNIT 101: UNIT 101
 UNIT 102: UNIT 102
 UNIT 103: UNIT 103
 UNIT 104: UNIT 104
 UNIT 105: UNIT 105

SCOTT COVE
 111 BIRCH STREET, SUITE 200
 BIRMINGHAM, AL 35203
 (205) 975-1111
 WWW.SCOTTCOVE.COM

UNIT NUMBERS 98, 99, 100 HAVE BEEN ELIMINATED
 UNIT NUMBERS 28, 29, 30, 31 HAVE BEEN ELIMINATED
 PROPOSED MUST BE IN ACCORDANCE WITH THE SUBDIVISION
 MAP AND THE SUBDIVISION MAP ACT AND ALL APPLICABLE
 LAWS AND REGULATIONS. NO ADJACENT NEIGHBORHOODS
 ARE AFFECTED.



FIRST FLOOR PLAN



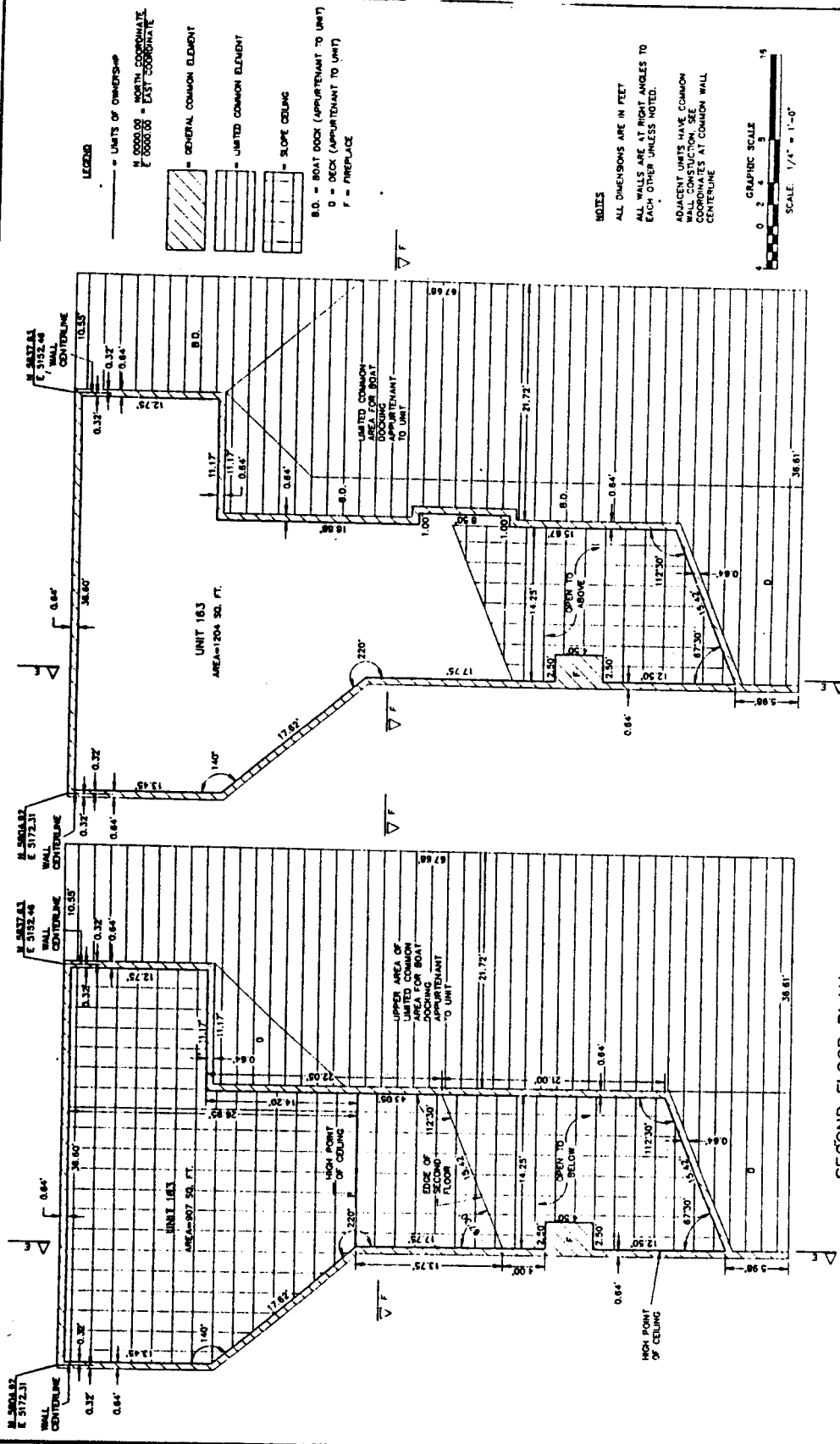
SECOND FLOOR PLAN

- GENERAL COMMON ELEMENT
 - LIMITED COMMON ELEMENT
 - LIMITS OF OWNERSHIP
 - COORDINATE POINT
- ALL DIMENSIONS ARE IN FEET.
ALL WALLS ARE AT RIGHT ANGLES TO EACH OTHER UNLESS NOTED.
ADJACENT UNITS HAVE COMMON COORDINATE POINTS TO SEE WALL CENTERLINE.
- SCALE: 1/8" = 1'-0"



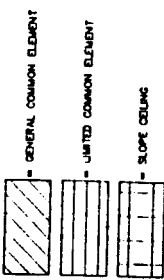
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FLOOR PLANS UNIT 162 1-14-33-20



LEGEND

- LIMITS OF OWNERSHIP
- N 0000.00 - NORTH COORDINATE
- E 0000.00 - EAST COORDINATE

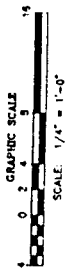


B.D. = BOAT DOCK (APURTAMENT TO UNIT)
 D = DECK (APURTAMENT TO UNIT)
 F = FIREPLACE

NOTES

ALL DIMENSIONS ARE IN FEET
 ALL WALLS ARE AT RIGHT ANGLES TO EACH OTHER UNLESS NOTED.

ADJACENT UNITS HAVE COMMON WALL CONSTRUCTION. SEE COORDINATES AT COMMON WALL CENTERLINE



FIRST FLOOR PLAN

SECOND FLOOR PLAN

PROPOSED



SOUTHCOVE
 NEW BUFFALO HARBOR, INC.
 903 MAIN ST. ST. JOSEPH, MICHIGAN 49785
 WIGHTMAN & ASSOCIATES, INC.
 870 BRADDOCK ST. ST. JOSEPH, MICHIGAN 49785
 FLOOR PLANS UNIT 163