

EIGHTH AMENDMENT TO SOUTHCOVE MASTER DEED  
EXHIBIT "B", CONDOMINIUM SUBDIVISION PLAN

Condominium Subdivision Plans, being Exhibit "B", are hereby amended as follows:

"Add Twenty-one (21) Units, number 139 through 159 inclusive."

The new units described above are as shown on the attached Amended Condominium Subdivision Plan which is made a part hereof. This Amendment does alter the percentage of value assigned to any unit in Southcove and does change the allocable expenses and/or percentage interest of any value assigned to each unit as computed in accordance with Article V of the Master Deed.

The number of units as referred to in Article V (c) shall be 148 units and each of said units shall be considered to have a percentage of value as indicated on attached Exhibit 1.

This Amendment is submitted in accordance with the authority given New Buffalo Harbor, Inc., a Michigan Corporation, as developer, by Public Act of 1978 as amended; as directed by a vote of the Board of Directors to amend the Master Deed to accomplish the inclusion of said units in The Southcove Association and by the consent of the developer to said Amendment which is also attached hereto and made a part hereof, in accordance with Article IX of the Master Deed previously filed and approved.

This Amendment is effective immediately upon its filing with

RECORDED

SEP 7 1 50 PM '88

*Bonnie Trethewey*  
REGISTER OF DEEDS  
SERRIF COUNTY MICHIGAN

NBH/SC/11 9/6/88

the Register of Deeds Office, Berrien County, Michigan.

DATED: September 6, 1988

In the Presence Of:

Ellen C. Van Brocklin  
Ellen C. Van Brocklin

Margaret O'Neill  
Margaret O'Neill

NEW BUFFALO HARBOR, INC.

BY James L. Stevens  
James L. Stevens  
President

BY Rocco M. De Francesco  
Rocco M. De Francesco  
Secretary

STATE OF MICHIGAN)

) ss.

COUNTY OF BERRIEN)

On this 6th day of September, 1988, the foregoing instrument was acknowledged before me by James L. Stevens, President of New Buffalo Harbor, Inc., and Rocco M. De Francesco, Secretary of New Buffalo Harbor, Inc., a Michigan Corporation, on behalf of the corporation.

Ellen C. Van Brocklin  
Ellen C. Van Brocklin  
Notary Public, Berrien County,  
Michigan  
My Commission Expires:  
September 16, 1989

PREPARED BY:  
ROCCY M. DE FRANCESCO  
903 MAIN STREET  
ST. JOSEPH, MI 49085

NBH/SC/II 9/6/88

EXHIBIT 1 TO EIGHTH  
AMENDMENT TO MASTER DEED

The following is a schedule of units and the percentage of value assigned to each unit:

1.	0.83	38.	0.36	110.	0.49
2.	0.83	39.	0.36	111.	0.49
3.	1.23	40.	0.36	112.	0.49
4.	0.70	41.	0.36	113.	0.49
5.	0.70	42.	0.41	114.	0.49
6.	1.03	47.	0.20	115.	0.52
7.	1.03	48.	0.20	116.	0.19
8.	0.83	49.	0.20	117.	0.19
9.	0.83	50.	0.20	118.	0.19
10.	1.23	55.	0.23	119.	0.19
11.	1.03	56.	0.23	120.	0.19
12.	1.03	57.	0.23	121.	0.19
13.	0.83	58.	0.23	122.	0.19
14.	0.83	61.	0.23	123.	0.19
15.	1.23	62.	0.23	124.	0.62
16.	1.03	63.	0.23	125.	0.62
17.	1.03	64.	0.23	126.	0.62
18.	0.83	65.	0.23	127.	0.62
19.	0.83	79.	0.43	128.	0.62
20.	1.23	80.	0.43	129.	0.62
21.	0.70	81.	0.43	130.	0.62
22.	0.70	82.	0.43	131.	0.65
23.	1.03	83.	0.38	132.	0.65
24.	1.03	84.	0.43	133.	0.65
25.	0.70	85.	0.43	134.	0.65
26.	0.70	86.	0.43	135.	0.46
27.	0.70	87.	0.43	136.	0.46
28.	0.70	88.	0.43	137.	0.46
32.	2.13	89.	0.43	138.	0.46
33.	2.13	90.	0.38	139.	0.84
34.	2.13	91.	0.32	140.	1.17
35.	2.13	92.	0.32	141.	1.69
36.	2.13	93.	0.36	142.	2.00
37.	2.13	94.	0.36	143.	1.17
45.	0.20	95.	0.23	144.	1.61
46.	0.20	96.	0.23	145.	0.85
53.	0.23	97.	0.23	146.	1.17
54.	0.23	98.	0.23	147.	1.17
68.	0.52	99.	0.23	148.	1.65
69.	0.43	100.	0.23	149.	0.85
70.	0.43	101.	0.23	150.	1.17
71.	0.43	102.	0.23	151.	1.17
72.	0.43	103.	0.23	152.	1.61
73.	0.38	104.	0.23	153.	0.85
74.	0.43	105.	0.23	154.	1.17
75.	0.43	106.	0.23	155.	1.17
76.	0.43	107.	0.51	156.	1.61
77.	0.43	108.	0.51	157.	1.37
78.	0.43	109.	0.49	158.	1.31
				159.	1.91

NBH/SC/11 9/6/88

CONSENT BY DEVELOPER TO EIGHTH  
AMENDMENT TO SUBDIVISION PLAN  
OF EXHIBIT B AND OTHER PROVISIONS

The undersigned, being the Developer of Southcove, a condominium in Berrien County, Michigan, hereby consents to the modification to the drawings, pages number X-1433-1, X-1433-2, X-1433-3, X-1433-4, X-1433-5, X-1433-13, X-1433-14, X-1433-15, X-1433-16, X-1433-17, X-1433-18, X-1433-19, of the Condominium Subdivision Plan (Exhibit B to the Master Deed) and to the other provisions included in that document.

Dated: September 6, 1988

NEW BUFFALO HARBOR, INC.

In the Presence Of:

Ellen C. Van Brocklin  
Ellen C. Van Brocklin

BY James L. Stevens  
James L. Stevens  
President

Margaret O'Neill  
Margaret O'Neill

BY Rocco M. De Francesco  
Rocco M. De Francesco  
Secretary

NBH/SC/11 9/6/88

REPLAT NO. 8 OF  
 BERRIEN COUNTY CONDOMINIUM  
 SUBDIVISION PLAN NO. 15

EXHIBIT B TO THE AMENDED MASTER DEED OF  
**SOUTHCOVE**  
 CITY OF NEW BUFFALO, BERRIEN COUNTY, MICHIGAN.

DEVELOPER

NEW BUFFALO HARBOR, INC.  
 903 MAIN STREET  
 ST. JOSEPH, MICHIGAN 49085

SURVEYOR & DOCUMENTS

WIGHTMAN & ASSOCIATES, INC.  
 920 BROAD STREET  
 ST. JOSEPH, MICHIGAN 49085

SHEET INDEX

- 1. COVER SHEET X-1433-1
- 2. SURVEY PLAN X-1433-2 & 3
- 3. EXPANSION PLAN X-1433-3
- 4. SITE PLAN X-1433-4 & 5
- 5. UTILITY & FLOOD PLAN X-1433-5
- 6. FLOOR PLAN-BUILDINGS 1,2,3,4 X-1433-6
- 7. FLOOR PLAN-BUILDINGS 1,2,3,4 X-1433-7
- 8. SECTIONS A-A & B-B BUILDINGS 1,2,3,4 (UNITS 1-28) X-1433-8
- 9. SECTIONS C-C & D-D BUILDINGS 1,2,3,4 (UNITS 1-28) X-1433-9
- 10. FLOOR PLANS UNITS 32-37 X-1433-10
- 11. SECTIONS E-E & F-F UNITS 32-37 X-1433-11
- 12. PENINSULA UNITS 38-47 AND UNITS 88-101 X-1433-12
- 13. WATER LEVEL FLOOR PLAN BUILDING 5 X-1433-13
- 14. FIRST FLOOR PLAN BUILDING 5 X-1433-14
- 15. SECOND FLOOR PLAN BUILDING 5 X-1433-15
- 16. THIRD FLOOR PLAN BUILDING 5 X-1433-16
- 17. MEZZANINE FLOOR PLAN BUILDING 5 X-1433-17
- 18. SECTIONS G-G (UNITS 138-141) M-H X-1433-18
- 19. SECTION J-J (UNITS 139-150) X-1433-19

ATTENTION: COUNTY REGISTER OF DEEDS  
 THE CONDOMINIUM SUBDIVISION PLAN NUMBER MUST  
 BE RECORDED IN CONSECUTIVE ORDER. WHEN A  
 NEW SHEET IS SUBMITTED TO THE REGISTER OF  
 DEEDS, THE SURVEYOR'S CERTIFICATE ON SHEET 2,  
 AND IN THE MASTER DEED.

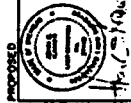
PROPERTY DESCRIPTION

THAT PART OF THE RECORDED PLAT OF WEST ADDITION TO THE VILLAGE, NOW CITY OF  
 NEW BUFFALO, AND THAT PART OF THE RECORDED PLAT OF THE ORIGINAL TOWN OF NEW  
 BUFFALO, AND THAT PART OF FRACTIONAL SECTION 8, TOWNSHIP 8 SOUTH, RANGE 21 WEST,  
 CITY OF NEW BUFFALO, BERRIEN COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: COMMENCING  
 AT THE EASTERN MOST CORNER OF LOT 14, BLOCK 1 OF THE NEW BUFFALO MARINA  
 CHANNELED AS NOW ESTABLISHED; THENCE NORTH 48° 37' 30" EAST ON A MEANDER LINE  
 ALONG SAID SOUTHERLY BANK 810.00 FEET TO THE POINT OF BEGINNING; CONTAINING 4.51  
 ACRES MORE OR LESS; THENCE NORTH 15° 00' WEST 234.00 FEET; THENCE SOUTH 45°  
 07' 37" WEST 20.82 FEET; THENCE SOUTH 58° 15' 00" WEST 278.00 FEET; THENCE  
 SOUTH 30° 45' 00" EAST 234.50 FEET; THENCE NORTH 58° 15' 00" EAST 278.00 FEET;  
 TO THE PLACE OF BEGINNING EXCEPTING THEREFROM THAT PART LYING BETWEEN THE  
 MEANDER LINE AND THE SOUTHERLY BANK OF THE NEW BUFFALO MARINA CHANNEL,  
 CONTAINING 1.61 ACRES MORE OR LESS.

OF THE EASTERN MOST CORNER OF LOT 14, BLOCK 1, MARINA CHANNELED NO. 1 IN SAID  
 CITY OF NEW BUFFALO; THENCE NORTH 30° 45' WEST 278.00 FEET TO THE TRUE PLACE  
 OF BEGINNING OF THE LAND HEREIN DESCRIBED; THENCE CONTAINING NORTH 30° 45' WEST  
 161.90 FEET TO A MEANDER POINT ON THE SOUTHERLY BANK OF THE NEW BUFFALO MARINA  
 CHANNELED AS NOW ESTABLISHED; THENCE NORTH 48° 37' 30" EAST ON A MEANDER LINE  
 ALONG SAID SOUTHERLY BANK 810.00 FEET TO THE POINT OF BEGINNING; CONTAINING 4.51  
 ACRES MORE OR LESS; THENCE NORTH 15° 00' WEST 234.00 FEET; THENCE SOUTH 45°  
 07' 37" WEST 20.82 FEET; THENCE SOUTH 58° 15' 00" WEST 278.00 FEET; THENCE  
 SOUTH 30° 45' 00" EAST 234.50 FEET; THENCE NORTH 58° 15' 00" EAST 278.00 FEET;  
 TO THE PLACE OF BEGINNING EXCEPTING THEREFROM THAT PART LYING BETWEEN THE  
 MEANDER LINE AND THE SOUTHERLY BANK OF THE NEW BUFFALO MARINA CHANNEL,  
 CONTAINING 1.61 ACRES MORE OR LESS.

NOTE

SOUTHCOVE IS A MULTI-PHASE CONDOMINIUM PROJECT. THE ASTERISK (\*)  
 INDICATES AMENDED OR ARE NEW SHEETS WHICH ARE REVISED DATED  
 8/10/88 THESE SHEETS WITH THIS SUBMISSION OR TO REPLACE OR  
 BE SUPPLEMENTAL SHEETS TO THOSE PREVIOUSLY RECORDED.

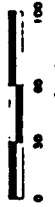


PROPOSED  
 SOUTHCOVE  
 NEW BUFFALO HARBOR, INC.  
 903 MAIN STREET ST. JOSEPH, MICHIGAN  
 49085  
 WIGHTMAN & ASSOCIATES, INC.  
 920 BROAD STREET ST. JOSEPH, MICHIGAN  
 49085  
 COVER SHEET

**SURVEYOR'S CERTIFICATE.**

I, JOHN S. TANKER, REGISTERED LAND SURVEYOR OF THE STATE OF MICHIGAN, HEREBY CERTIFY THAT THE SUBDIVISION PLAN HEREON AS MICHIGAN COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 18 IS A SURVEY ON THE ORIGINAL SURVEY, REPRESENTS THE CORRECT AND COMPLETE DESCRIPTION OF THE LANDS AND PROPERTY THEREON DESCRIBED. THAT THE REQUIRED MONUMENTS AND MARKERS HAVE BEEN LOCATED IN THE MANNER AND PLACES BY THE PUBLIC ACTS OF 1879 AND 1893 AND THAT THE RECORDS OF THIS SURVEY IS WITHIN THE LIMITS OF THE PUBLIC ACTS OF 1879 AND 1893. THAT THE MEASUREMENTS SHOWN ARE NOTED ON SURVEY PLANS AS REQUIRED BY THE RULES PROMULGATED UNDER SECTION 148 OF ACT NO. 89 OF THE PUBLIC ACTS OF 1879.

JOHN S. TANKER, SURVEYOR  
511 S. STATE ST.  
ANN ARBOR, MICHIGAN 48106  
MICHIGAN SURVEYORS ASSOCIATION  
1000 W. BROAD ST., ST. JOSEPH, MI 49785



SCALE: 1" = 30'

MONUMENT

CONDOMINIUM

LIBER 7 PAGES 37-43 B. 62-66

THE MOORINGS

CONDOMINIUM

LIBER 1178

CONDOMINIUM

LIBER 1179

CONDOMINIUM

LIBER 1180

CONDOMINIUM

LIBER 1181

CONDOMINIUM

LIBER 1182

CONDOMINIUM

LIBER 1183

CONDOMINIUM

LIBER 1184

CONDOMINIUM

LIBER 1185

CONDOMINIUM

LIBER 1186

CONDOMINIUM

LIBER 1187

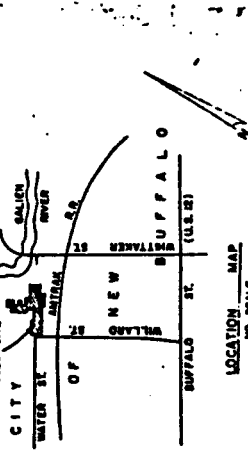
CONDOMINIUM

LIBER 1188

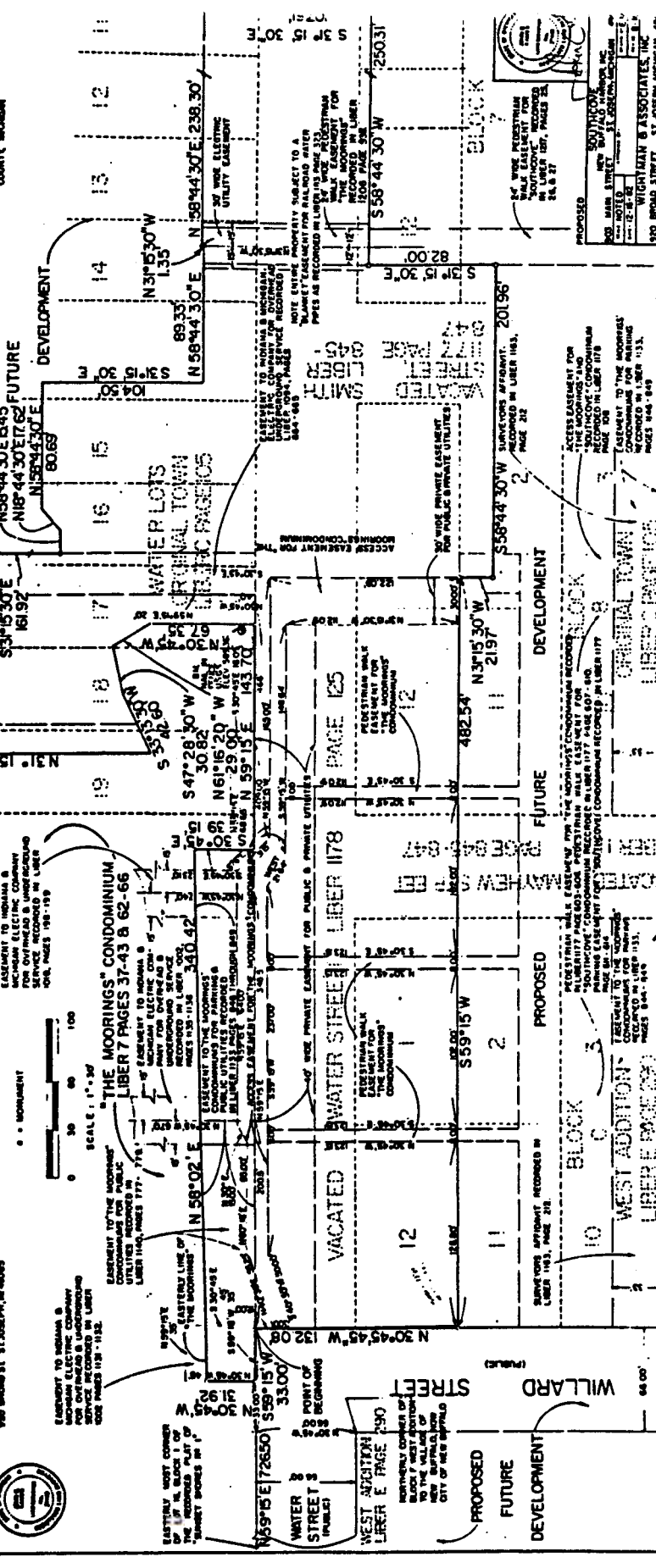
CONDOMINIUM

LIBER 1189

CONDOMINIUM



NOTE: SURVEY MEASUREMENTS ARE REPRODUCED ON THE RECORDED PLAN OF THE SURVEY SHOWN NUMBER 1876 IN THE ANN ARBOR COUNTY, MICHIGAN.



PROPOSED  
WEST ADDITION  
LIBER E PAGE 290  
SURVEY PL. NO. ALSO REC. K-433-PA 1-1-81

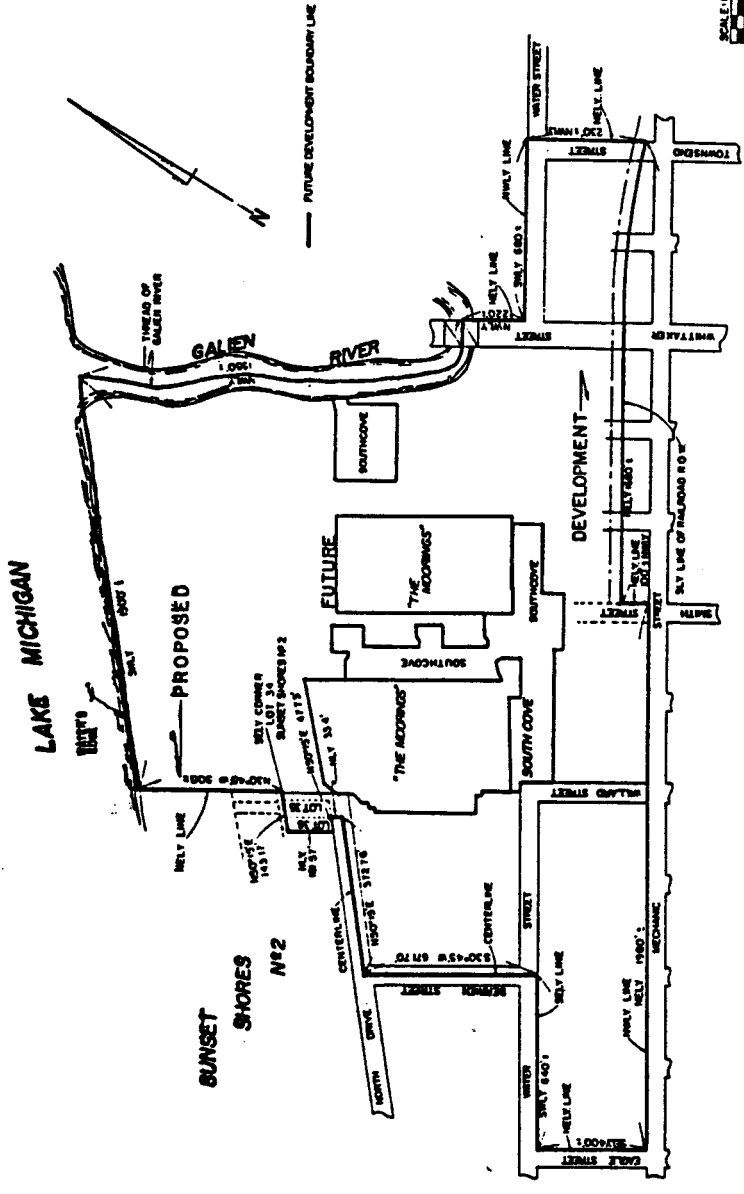
WEST ADDITION  
LIBER E PAGE 290  
SURVEY PL. NO. ALSO REC. K-433-PA 1-1-81

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SURVEY PL. NO. ALSO REC. K-433-PA 1-1-81

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SURVEY PL. NO. ALSO REC. K-433-PA 1-1-81

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LIBER E PAGE 290  
SURVEY PL. NO. ALSO REC. K-433-PA 1-1-81

WEST ADDITION  
LIBER E PAGE 290  
SURVEY PL. NO. ALSO REC. K-433-PA 1-1-81

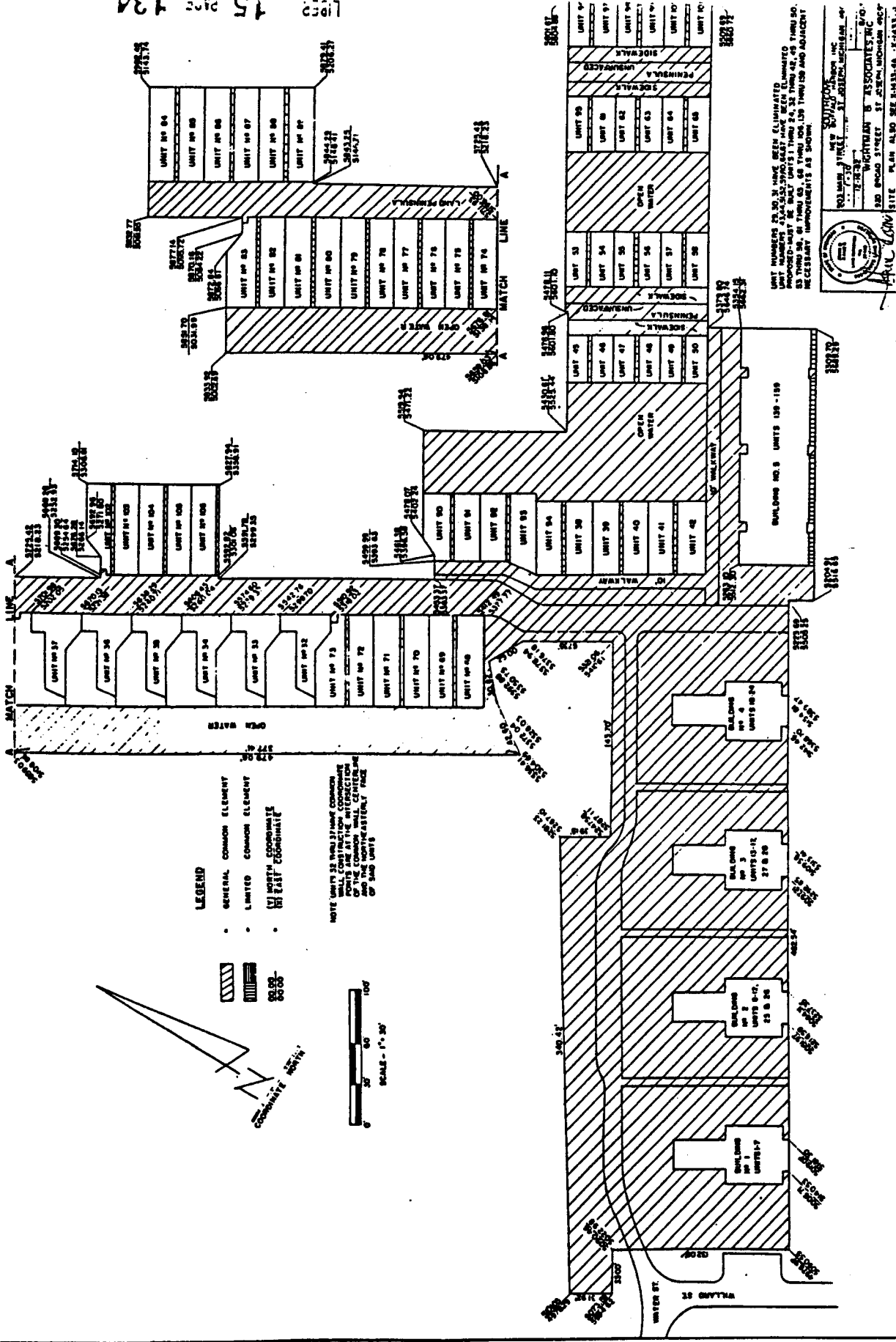


SCALE: 1" = 50'  
 0 50 100 150

NOTE: PROPOSED FUTURE DEVELOPMENT AREA INCLUDES ALL PUBLIC AND PRIVATE RIGHT OF WAY AND SUBSERVITS WITHIN THE DEVELOPMENT BOUNDARY.



PROPOSED  
 SOUTHCOVE  
 300 W. MILL STREET  
 17-250  
 WIGHTMAN & ASSOCIATES, INC.  
 300 W. MILL STREET  
 ST. JOSEPH, MISSOURI 64501  
 2-143



UNIT NUMBERS 23 TO 30 HAVE BEEN ELIMINATED  
 UNIT NUMBERS 31 TO 38 HAVE BEEN ELIMINATED  
 UNIT NUMBERS 39 TO 46 HAVE BEEN ELIMINATED  
 UNIT NUMBERS 47 TO 54 HAVE BEEN ELIMINATED  
 UNIT NUMBERS 55 TO 62 HAVE BEEN ELIMINATED  
 UNIT NUMBERS 63 TO 70 HAVE BEEN ELIMINATED  
 UNIT NUMBERS 71 TO 78 HAVE BEEN ELIMINATED  
 UNIT NUMBERS 79 TO 86 HAVE BEEN ELIMINATED  
 UNIT NUMBERS 87 TO 94 HAVE BEEN ELIMINATED  
 UNIT NUMBERS 95 TO 102 HAVE BEEN ELIMINATED  
 NECESSARY IMPROVEMENTS AS SHOWN

NEW YORK CITY  
 ST. JOHN'S UNIVERSITY  
 ARCHITECTS  
 330 BROAD STREET  
 ST. JOHN'S UNIVERSITY  
 JAMAICA, N.Y. 11432-4414

ST. JOHN'S UNIVERSITY  
 ARCHITECTS  
 330 BROAD STREET  
 ST. JOHN'S UNIVERSITY  
 JAMAICA, N.Y. 11432-4414

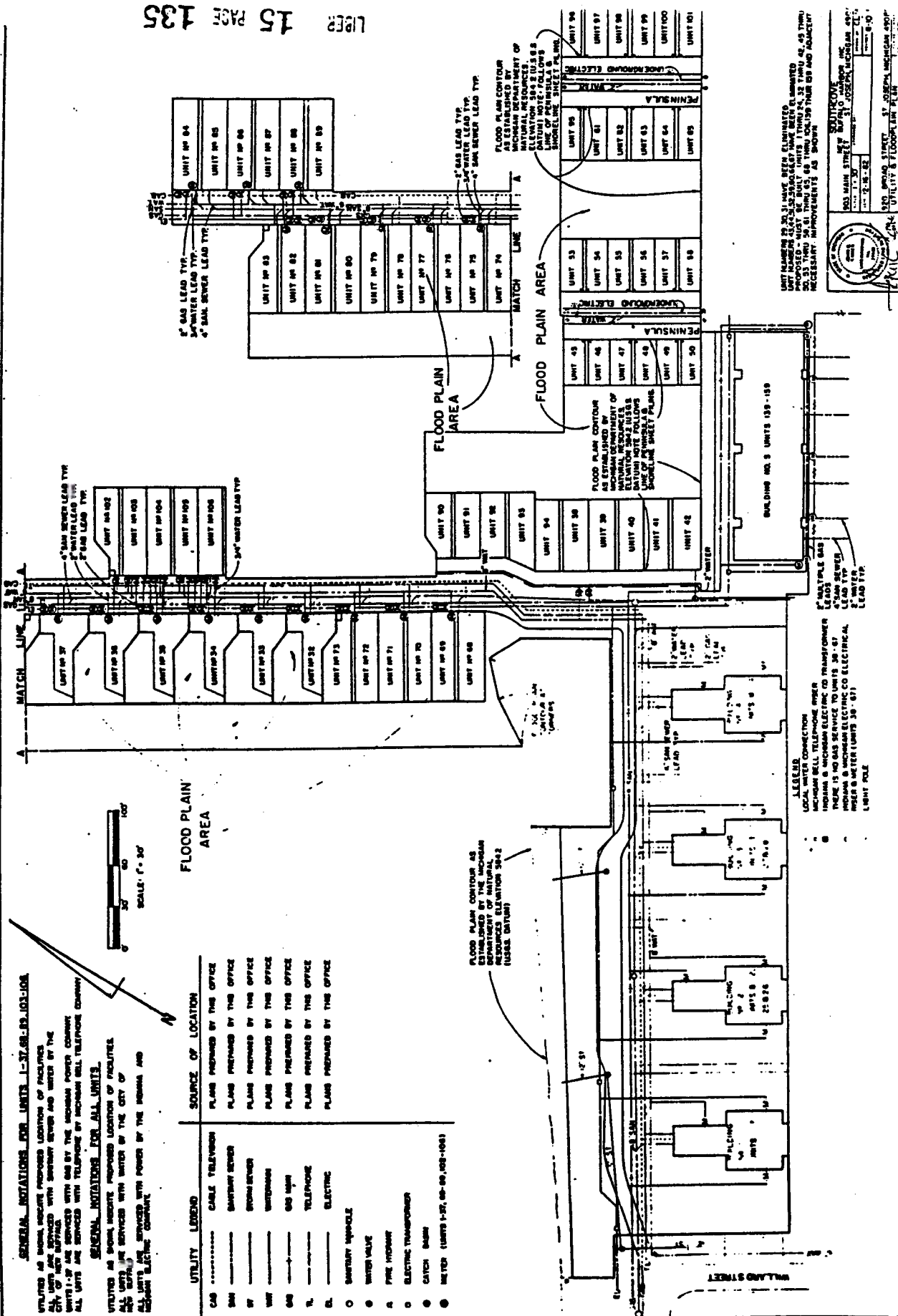
ST. JOHN'S UNIVERSITY  
 ARCHITECTS  
 330 BROAD STREET  
 ST. JOHN'S UNIVERSITY  
 JAMAICA, N.Y. 11432-4414



**GENERAL NOTATIONS FOR UNITS 1-37, 48, 49, 103-106**  
 UTILITIES AS SHOWN INDICATE PROPOSED LOCATION OF FACILITIES.  
 ALL UNITS ARE SERVICED WITH SEWER, WATER AND GAS BY THE CITY OF INDIANAPOLIS.  
 ALL UNITS ARE SERVICED WITH TELEPHONE BY INDIAN BELL TELEPHONE COMPANY.  
 ALL UNITS ARE SERVICED WITH POWER BY THE INDIANA AND MICHIGAN ELECTRIC COMPANY.

**GENERAL NOTATIONS FOR ALL UNITS**  
 UTILITIES AS SHOWN INDICATE PROPOSED LOCATION OF FACILITIES.  
 ALL UNITS ARE SERVICED WITH WATER BY THE CITY OF INDIANAPOLIS.  
 ALL UNITS ARE SERVICED WITH POWER BY THE INDIANA AND MICHIGAN ELECTRIC COMPANY.

UTILITY LEGEND	SOURCE OF LOCATION
--- CABLE TELEVISION	PLANS PREPARED BY THIS OFFICE
--- SEWER	PLANS PREPARED BY THIS OFFICE
--- WATER	PLANS PREPARED BY THIS OFFICE
--- GAS	PLANS PREPARED BY THIS OFFICE
--- TELEPHONE	PLANS PREPARED BY THIS OFFICE
--- ELECTRIC	PLANS PREPARED BY THIS OFFICE
○ SEWER MANHOLE	
● WATER VALVE	
○ FIRE HYDRANT	
○ ELECTRIC TRANSFORMER	
● CATCH BASIN	
● METER (UNITS 1-37, 48-49, 103-106)	



**UNITS 139-159**  
 FLOOD PLAIN AREA  
 AS ESTABLISHED BY  
 INDIANAPOLIS DEPARTMENT OF  
 NATURAL RESOURCES,  
 ELEVATION 564.2 U.S.S.  
 SHORELINE SHEET PL. 100

**UNITS 139-159**  
 FLOOD PLAIN AREA  
 AS ESTABLISHED BY  
 INDIANAPOLIS DEPARTMENT OF  
 NATURAL RESOURCES,  
 ELEVATION 564.2 U.S.S.  
 SHORELINE SHEET PL. 100

**UNITS 139-159**  
 FLOOD PLAIN AREA  
 AS ESTABLISHED BY  
 INDIANAPOLIS DEPARTMENT OF  
 NATURAL RESOURCES,  
 ELEVATION 564.2 U.S.S.  
 SHORELINE SHEET PL. 100

**UNITS 139-159**  
 FLOOD PLAIN AREA  
 AS ESTABLISHED BY  
 INDIANAPOLIS DEPARTMENT OF  
 NATURAL RESOURCES,  
 ELEVATION 564.2 U.S.S.  
 SHORELINE SHEET PL. 100

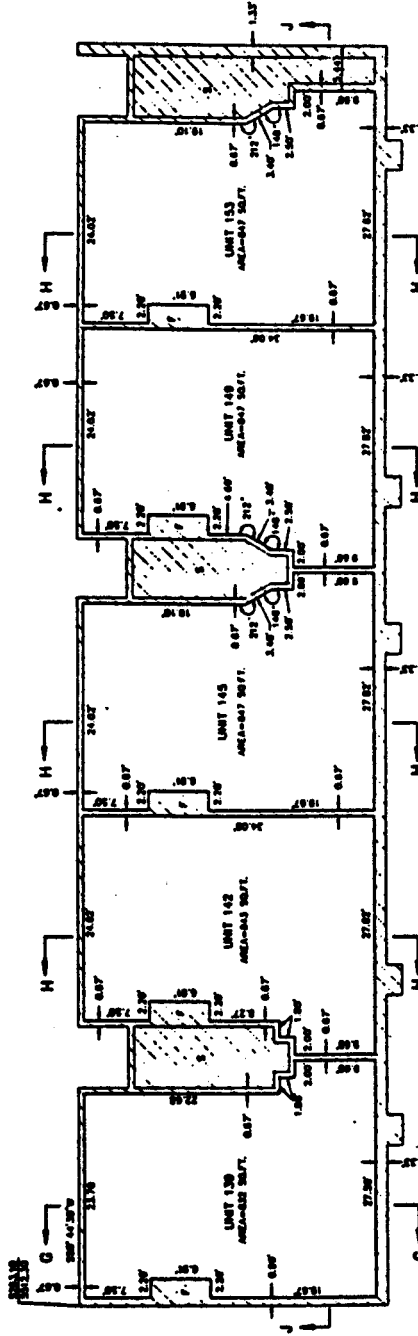
**UNITS 139-159**  
 FLOOD PLAIN AREA  
 AS ESTABLISHED BY  
 INDIANAPOLIS DEPARTMENT OF  
 NATURAL RESOURCES,  
 ELEVATION 564.2 U.S.S.  
 SHORELINE SHEET PL. 100

**UNITS 139-159**  
 FLOOD PLAIN AREA  
 AS ESTABLISHED BY  
 INDIANAPOLIS DEPARTMENT OF  
 NATURAL RESOURCES,  
 ELEVATION 564.2 U.S.S.  
 SHORELINE SHEET PL. 100

**UNITS 139-159**  
 FLOOD PLAIN AREA  
 AS ESTABLISHED BY  
 INDIANAPOLIS DEPARTMENT OF  
 NATURAL RESOURCES,  
 ELEVATION 564.2 U.S.S.  
 SHORELINE SHEET PL. 100

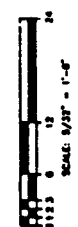
**UNITS 139-159**  
 FLOOD PLAIN AREA  
 AS ESTABLISHED BY  
 INDIANAPOLIS DEPARTMENT OF  
 NATURAL RESOURCES,  
 ELEVATION 564.2 U.S.S.  
 SHORELINE SHEET PL. 100

**UNITS 139-159**  
 FLOOD PLAIN AREA  
 AS ESTABLISHED BY  
 INDIANAPOLIS DEPARTMENT OF  
 NATURAL RESOURCES,  
 ELEVATION 564.2 U.S.S.  
 SHORELINE SHEET PL. 100



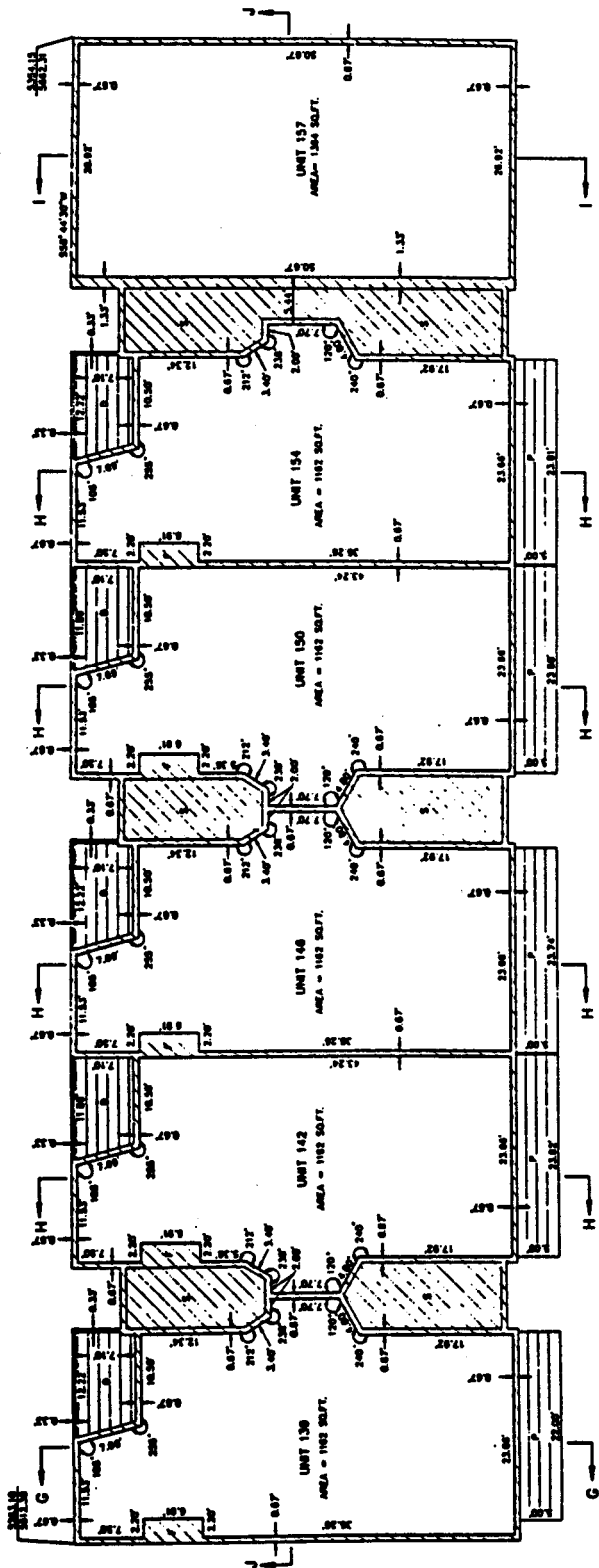
**WATER LEVEL**

- LEGEND**
- F - FIREPLACE
  - S - STAIRWAY
  - - PARTIAL CONCRETE
  - - TEST CONCRETE
  - - LIMITS OF CONCRETE
  - - GENERAL COMMON ELEMENT
  - - LIMITED COMMON ELEMENT



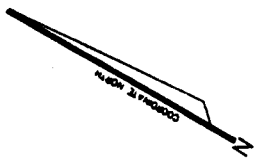
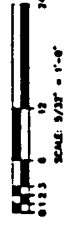
PROPOSED

**SOUTH CAROLINA**  
 NEW BUREAU ADDRESS  
 301 WEST STREET  
 COLUMBIA, SOUTH CAROLINA  
 ARCHITECT  
 JOHN W. HAYWARD & ASSOCIATES, INC.  
 130 SOUTH STREET  
 COLUMBIA, SOUTH CAROLINA  
 PHONE 133-1234



FIRST FLOOR

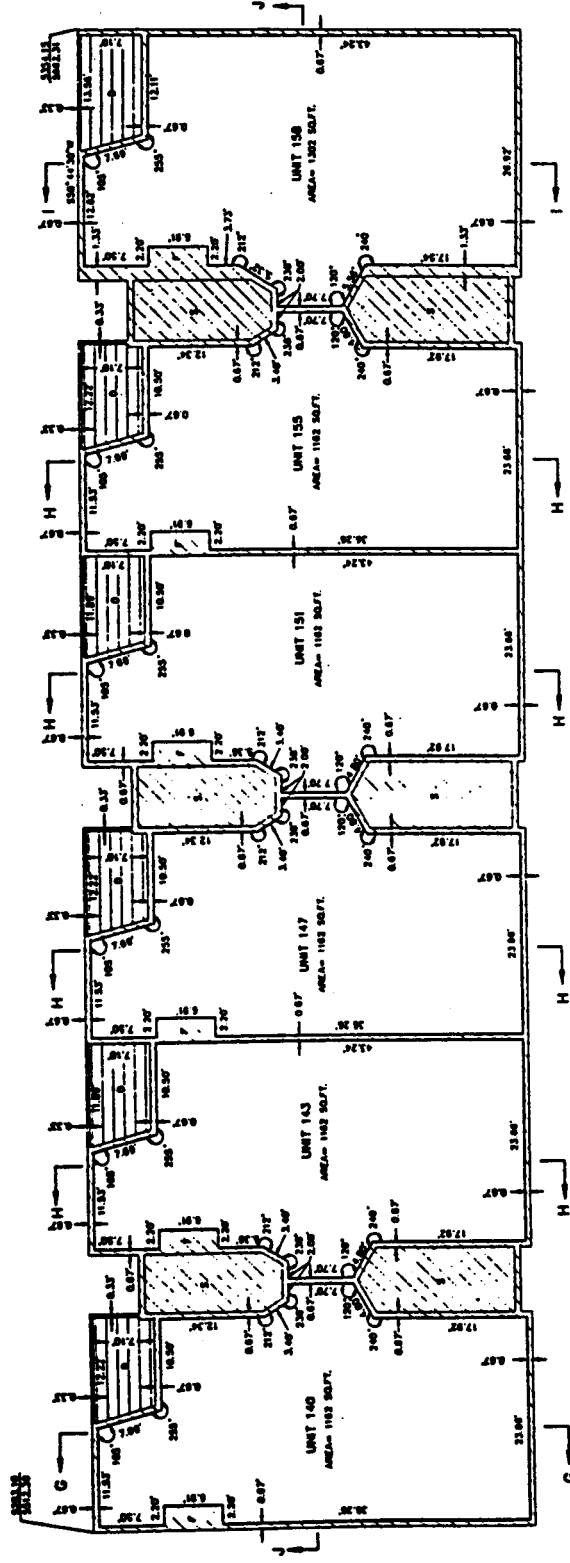
- LEGEND**  
 ALL DIMENSIONS ARE IN FEET  
 ALL WALLS ARE AT RIGHT ANGLES TO EACH OTHER UNLESS NOTED  
 S = STAIRWAY  
 H = HALL APARTMENT TO UNIT  
 P = PATIO APARTMENT TO UNIT  
 F = FIREPLACE  
 5000 OR NORTH COORDINATE  
 5000 OR EAST COORDINATE  
 --- = LIMITS OF CONVEYANCE  
 [Hatched Box] = GENERAL COMMON ELEMENT  
 [Dotted Box] = LIMITED COMMON ELEMENT



PROPOSED - MUST BE BUILT

**SOUTHCOKE**  
 NEW BUFFALO HARBOR, INC.  
 303 MAIN STREET, ST. JOSEPH, MICHIGAN

NOTED  
 E/W/DRY WEIGHTMAN & ASSOCIATES, INC.  
 230 BROOK STREET, ST. JOSEPH, MICHIGAN  
 ENCL. NO. 3 FIRST FLOOR PLAN



**LEGEND**  
 ALL DIMENSIONS ARE IN FEET  
 ALL WALLS ARE AT RIGHT ANGLES TO EACH OTHER UNLESS NOTED

- S = STAIRWAY
- B = BENCH APPURTENANT TO UNIT
- F = FIREPLACE
- XXXXXX = NORTH COORDINATE
- XXXXXX = EAST COORDINATE
- = LIMITS OF OVERSEER
- = GENERAL COMMON ELEMENT
- = LIMITED COMMON ELEMENT

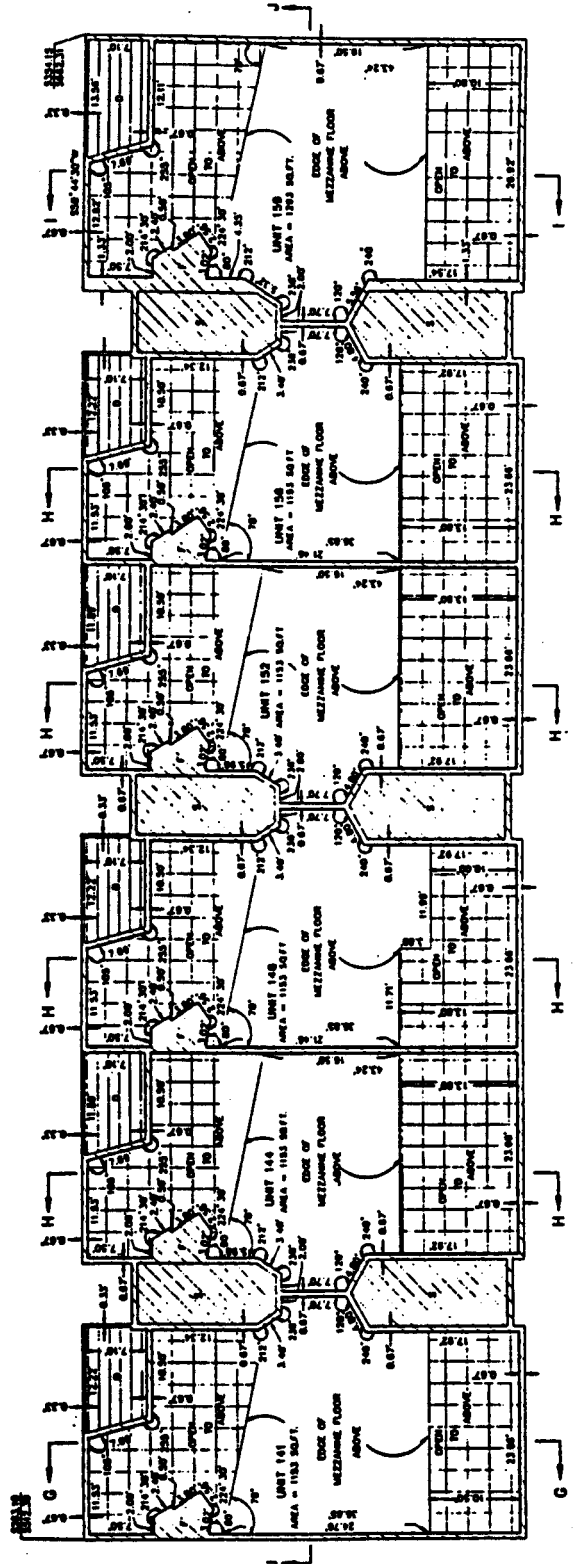


**SECOND FLOOR**

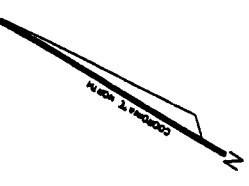
APPROVED - MUST BE BUILT



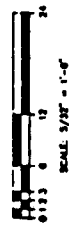
**SOUTHCOVE**  
 NEW BUFFALO HARBOR, INC.  
 263 MAIN STREET, ST. JOSEPH, MISSOURI 64501  
 816/233-8700  
**WIGHTMAN & ASSOCIATES, INC.**  
 120 BRIDGE STREET, ST. JOSEPH, MISSOURI 64501  
 816/233-8700



THIRD FLOOR



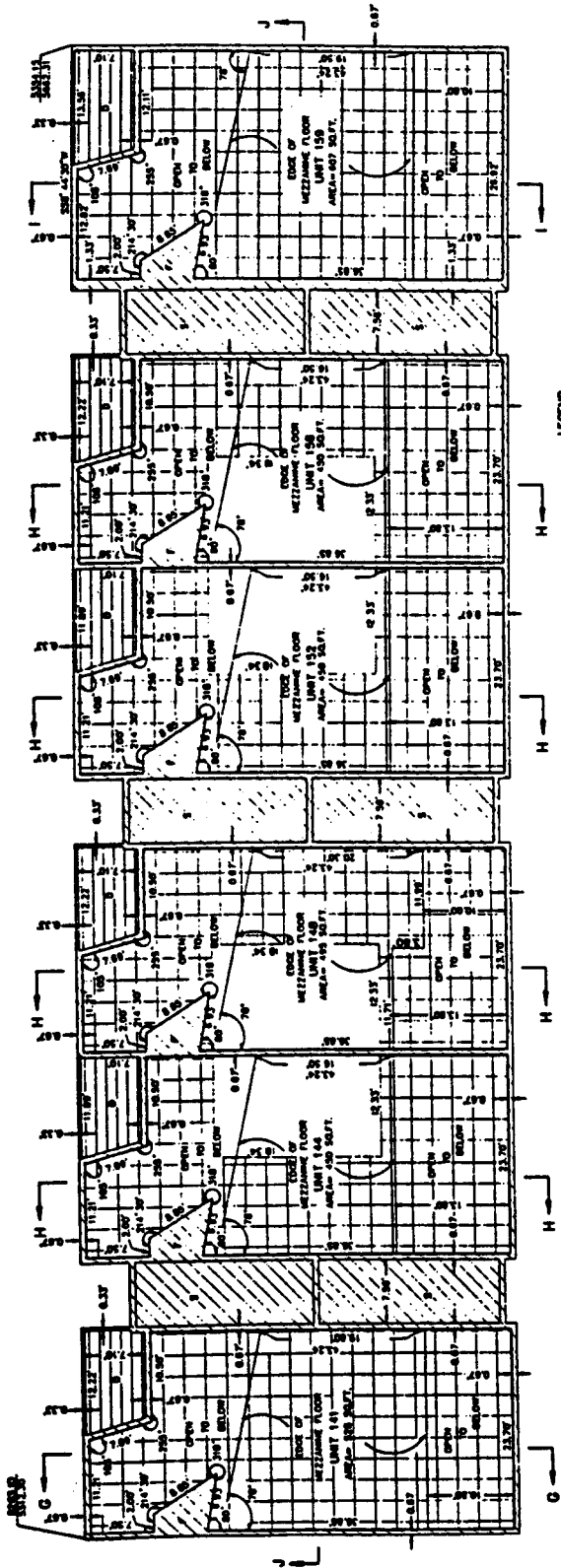
- LEGEND**
- ALL DIMENSIONS ARE IN FEET
  - ALL WALLS ARE AT RIGHT ANGLES TO EACH OTHER UNLESS NOTED
  - S = STAIRWAY
  - Ø = ROUNDOFF APPURTENANT TO UNIT
  - F = FIREPLACE
  - = NORTH CORNER
  - = EAST CORNER
  - = UNITS OF DIMENSIONS
  - = GENERAL COMMON ELEMENT
  - = LIMITED COMMON ELEMENT
  - = SLOPE CEILING



PROPOSED - MUST BE BUILT

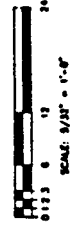
**SOUTHWEST**  
NEW BUILDING, INC.  
303 MAIN STREET, ST. JOSEPH, MISSOURI 64501  
JULY 1978

**WRIGHTMAN & ASSOCIATES, INC.**  
200 WEST 11TH STREET, ST. JOSEPH, MISSOURI 64501  
UNITS 141, 144, 148, 152, 156, 157  
1-1973



- LEGEND**
- ALL DIMENSIONS ARE IN FEET
  - ALL WALLS ARE AT RIGHT ANGLES TO EACH OTHER UNLESS NOTED
  - S = STAIRWAY
  - Ø = DECK APPURTENANT TO UNIT
  - F = FIREPLACE
  - ROOM NO. NORTH COORDINATE SOUTH COORDINATE
  - = LIMITS OF OWNERSHIP
  - [Hatched Box] = GENERAL COMMON ELEMENT
  - [Dotted Box] = LIMITED COMMON ELEMENT
  - [Diagonal Line Box] = SLOPE CEILING

**MEZZANINE FLOOR**

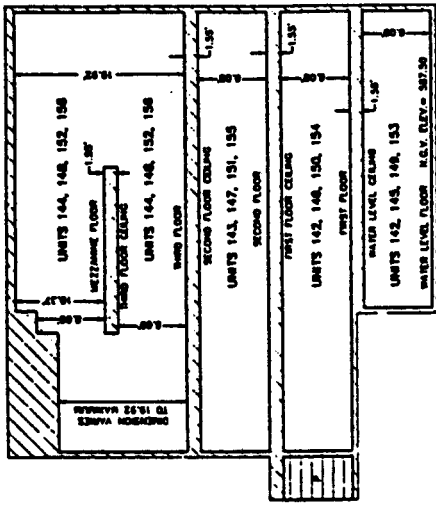


PROCESSED UNDER BUILDING

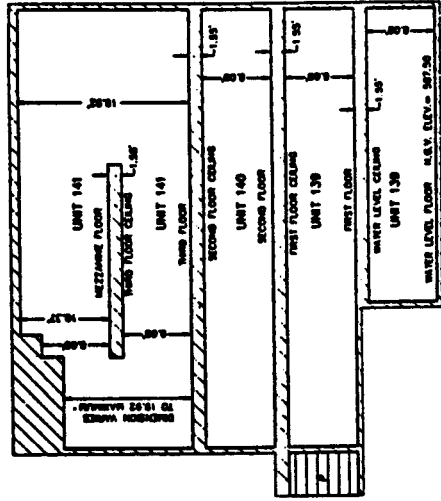
**SOUTHWEST**  
NEW BUFFALO OAKWOOD INC.  
303 MAIN STREET ST. JOSEPH, MICHIGAN 49785  
NOTED 8/10/88

**WIGHTMAN & ASSOCIATES, INC.**  
310 BRAD STREET ST. JOSEPH, MICHIGAN 49785  
PHONES 141-7414, 148-5236, 8755 FAX 148-1633-17

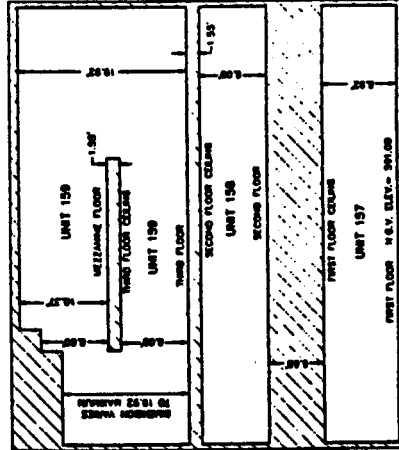
LEP 15 11 11



SECTION H-H, UNITS 142-156



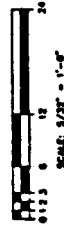
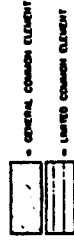
SECTION G-G, UNITS 139-141



SECTION I-I, UNITS 157-159

LEGEND

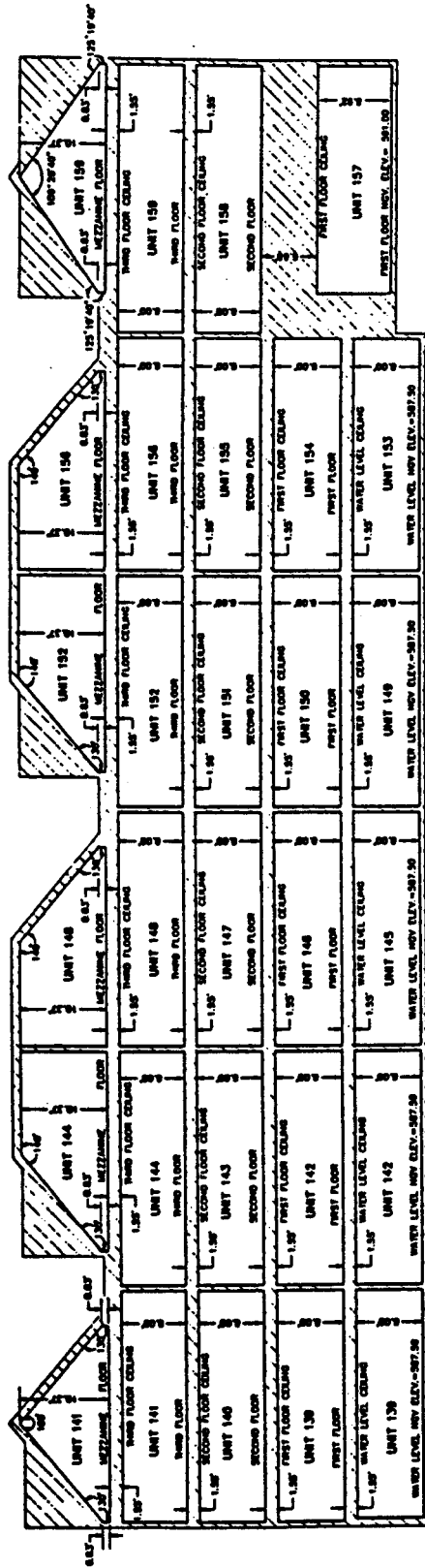
ALL DIMENSIONS ARE IN FEET  
 ALL WALLS ARE AT RIGHT ANGLES TO  
 EACH OTHER UNLESS NOTED  
 P = PIANO APARTMENT TO UNIT  
 --- = UNITS OF OVERSEAS



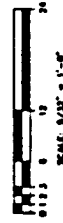
PROPOSED - MUST BE BUILT



SOUTHCOVE  
 NEW BUFFALO HARBOUR INC.  
 303 MAIN STREET ST. JOSEPH, MICHIGAN 49780  
 NOTED  
 8/10/88  
 JOSEPH M. KUCERA  
 300 WOOD STREET ST. JOSEPH, MICHIGAN 49780  
 SECTION G-G UNITS 139-141, H-H UNITS 142-156, I-I UNITS 157-159  
 UNITS 142-156, I-I UNITS 157-159  
 8-1131-8



LEGEND  
 ALL DIMENSIONS ARE IN FEET  
 DIMENSIONS IN PARENT HOLES TO  
 DIMENSIONS IN HOLES TO UNIT  
 P = PART APPURTENANT TO UNIT  
 - UNITS OF DIMENSION  
 - GENERAL COMMON ELEMENT  
 - LIMITED COMMON ELEMENT



SECTION J-J, UNITS 139-159

PROPOSED - MUST BE BUILT

SOUTHCOVE  
 BUILDING CORPORATION, INC.  
 303 MARK STREET  
 ST. JOSEPH, MICHIGAN 49780  
 R/O/008  
 WRIGHTMAN B ASSOCIATES, INC.  
 120 GRAND STREET, ST. JOSEPH, MICHIGAN 49780  
 SECTION J-J, UNITS 139-159  
 7-1531-19